



## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 14 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

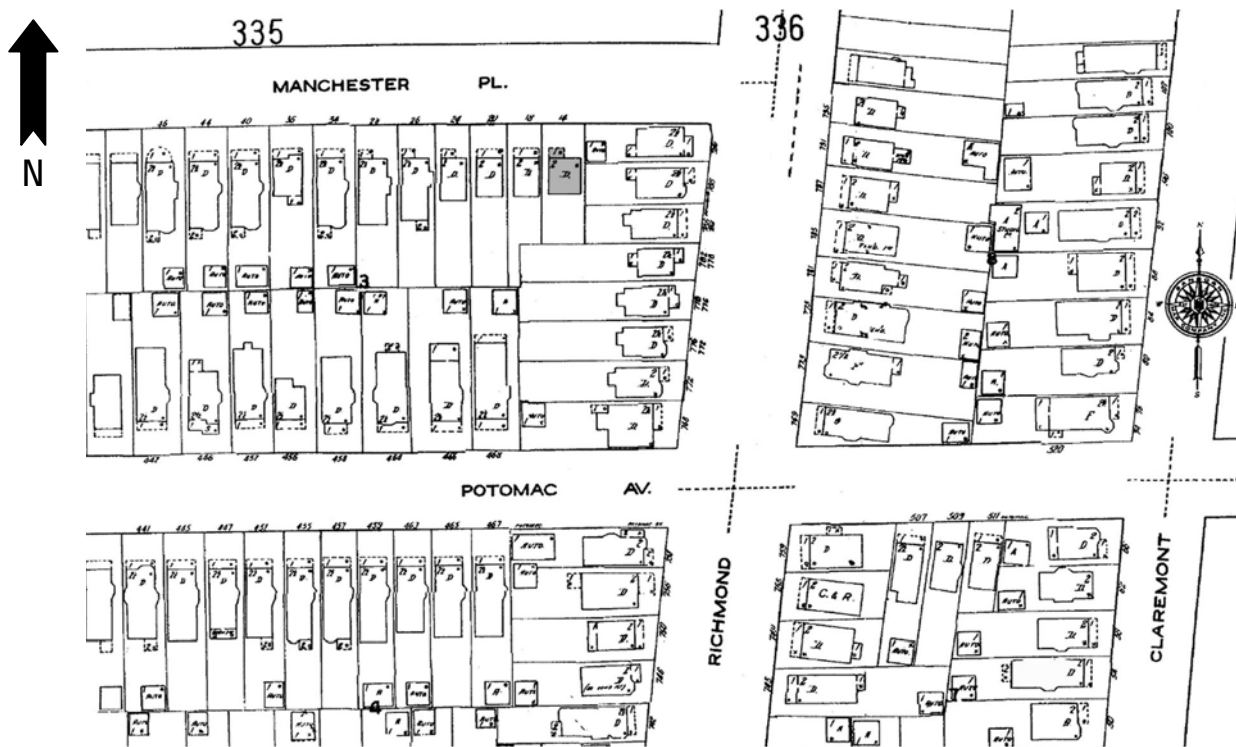
The single-family house at 14 Manchester Place is set on a shortened lot, located on the south side of the street, at its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, side gabled, urban, frame residence of modest Colonial revival influence. It has a regular square plan and is set on a stone foundation. The façade has a half-width, enclosed, pedimented porch to the west. The main entrance is located in the center of the porch framed by shuttered windows, reached by a small, metal railed stair. A triple window grouping occupies the east bay of the facade. The second floor façade is distinguished by shuttered windowing. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, eight-over-one, six-over-one, and four-over-one double-hung wood sash and fixed. Paired windows visible in the side gable ends. A brick chimney rests centered on the front roof slope just off the ridge. Additional detailing includes modest corner boards, frieze, cornice trim, and bracketing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 14 Manchester Place is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of modest Colonial revival influence. Design and style characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound. Built for James Newton

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-9)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 17 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 17 Manchester Place is set on a standard lot, located on the north side of the street, at its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has full-width, porch with trimmed square column supports, spindled wood rail, wide frieze with entablature, and entry stair in the west bay. The sidelighted and modestly framed main entrance is located off center to the west. A framed triple window grouping occupies the east bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the west bay over the main entrance, and a triple window grouping in the east over the lower window. A large hipped roof dormer with quartet window grouping accents the front roof slope. Two-story protruding, polygonal bay visible on the east elevation; bay on the west elevation as well. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed; forward windows on east elevation project slightly with hoods. A brick chimney rests on the east slope. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the building.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 17 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-12)







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NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 18 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

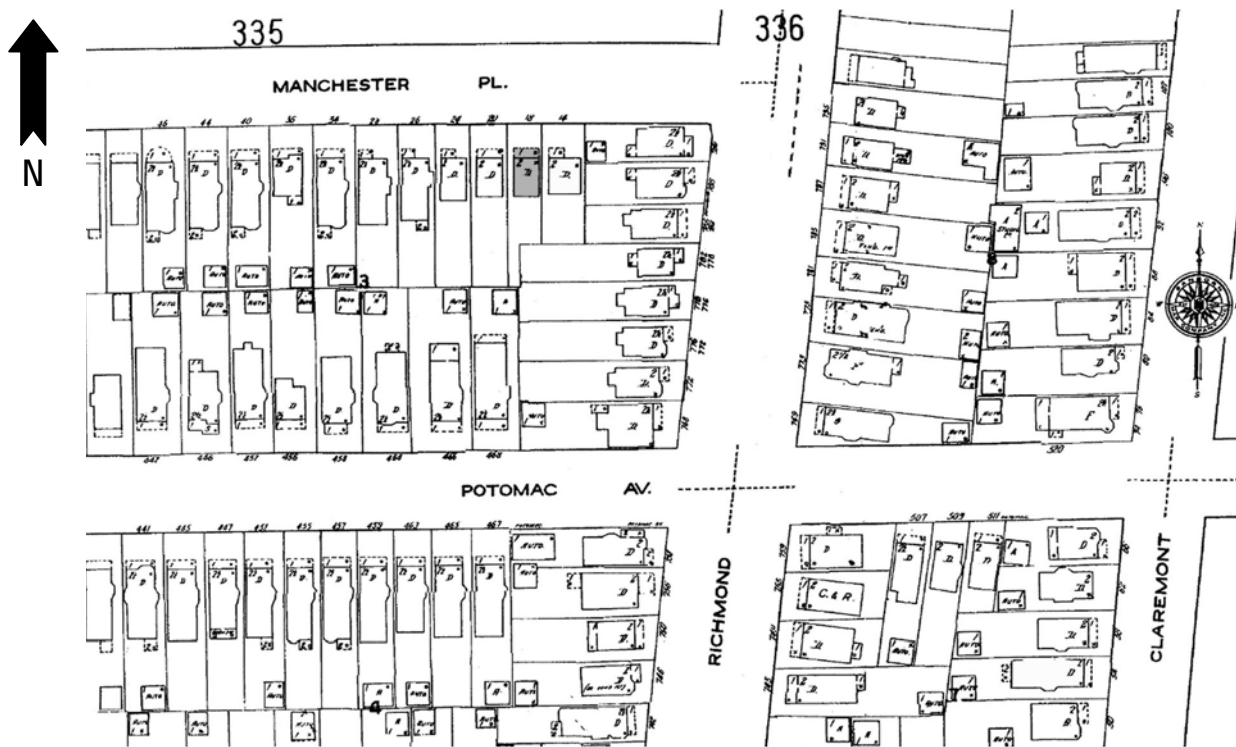
The single-family house at 18 Manchester Place is set on a short ell lot, located on the south side of the street, at its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, simple front gabled, urban, frame residence with Queen Anne styling and detail. It has a squared plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with  $\frac{3}{4}$ -height Doric columns set on clapboard piers, spindled wood rail, clapboard covered foundation, moderate frieze, and  $\frac{1}{2}$ -width framed pediment in the west over the entry stair. The modestly enframed main entrance is located off center to the west. A large triple window grouping occupies the east bay. The second floor façade has a projecting polygonal oriel in the east bay. A paired window grouping with modest enframing and bracket punctuates the front gable peak. Shed roof dormer rests on the east roof slope. Secondary entrance with awning visible on the west elevation. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimneys visible on the east and west slopes. Additional detailing includes corner boards, frieze and cornice trim, verge boards, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 18 Manchester Place is significant as a good representative example of a two-and-one-half story, simple front gabled, urban, frame residence with Queen Anne styling and detail. More detailed than some, a Queen Anne styled design common amongst single-family residences of the era in the Grant-Ferry-Forest neighborhood. Built for Lewis G. Northrup.

MAP: Sanborn Map (Revised 1886) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-10)









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NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 21 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 21 Manchester Place is set on a standard lot, located on the north side of the street, toward its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with metal rail and supports, vertical-board frieze, cornice, and entry stair in the west bay. The modestly enframed main entrance with sidelights and shutters is located off center to the west. A polygonal bay occupies the east bay. The second floor façade has an open porch with horizontal wood rail, awning, a porch entrance in the west over the entrance and a polygonal oriel in the east over the lower bay, flush beneath the projecting gable end. A window grouping punctuates the front gable peak. Two two-story protruding, polygonal bays visible on the east elevation, contained under the wide overhanging eaves. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimneys visible on the center ridge. Additional detailing includes modest corner boards, frieze and cornice trim, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Manchester Place is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-11)







## HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 23 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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The two-family house at 23 Manchester Place is set on a standard lot, located on the north side of the street, toward its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, side gabled, urban, residence of mixed influence and styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a 7/8-width porch to the east, with ¾-height squared elephantine columns set on stone piers that flow into the foundation, open stone balustrade, moderate frieze, slightly hipped overhang with lookout rafters, and entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the façade under the porch. A framed triple window grouping occupies the east bay of the facade. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the west, and a triple window grouping in the east over the lower window. A large shed roof dormer with quartet window grouping dominates the front roof slope. Two-story rectangular bay flush beneath the pent of the side gable visible on the west elevation. Rear section of residence not included under main block's side gable. Exterior wall fabric is stucco on the first floor with wood shingle on the upper stories and dormer. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes modest belt course, frieze, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 23 Manchester Place is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of mixed influence and styling. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-10)









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NYS OFFICE OF PARKS, RECREATION  
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(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 27 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 27 Manchester Place is set on a standard lot, located on the north side of the street, toward its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne influence. It has a rough rectangular plan and is set on a stone foundation. The façade has a center, 7/8-width porch with ¾-height square columns set on a solid wood clapboard rail, wide frieze and modest cornice, and a slight projection over the entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the façade under the porch. A framed triple window grouping occupies the east bay of the facade. The second floor façade has an open porch with modern metal rail, a sidelighted and framed porch entrance in the west, and a triple window group with matching framing in the east over the lower window. A lower front gable with single window punctuates the lower east section of the front roof slope. A small gabled dormer with paired window rests on the western section. Two-story rectangular bay flush beneath the pent of the side gable visible on the west elevation. Rear section of residence not included under main block's side gable. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with four-over-four and eight-over-eight double-hung wood sash on second floor façade. Additional detailing includes modest frieze, trim, and framing.

Two garages occupy the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 27 Manchester Place is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne influence. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 28 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

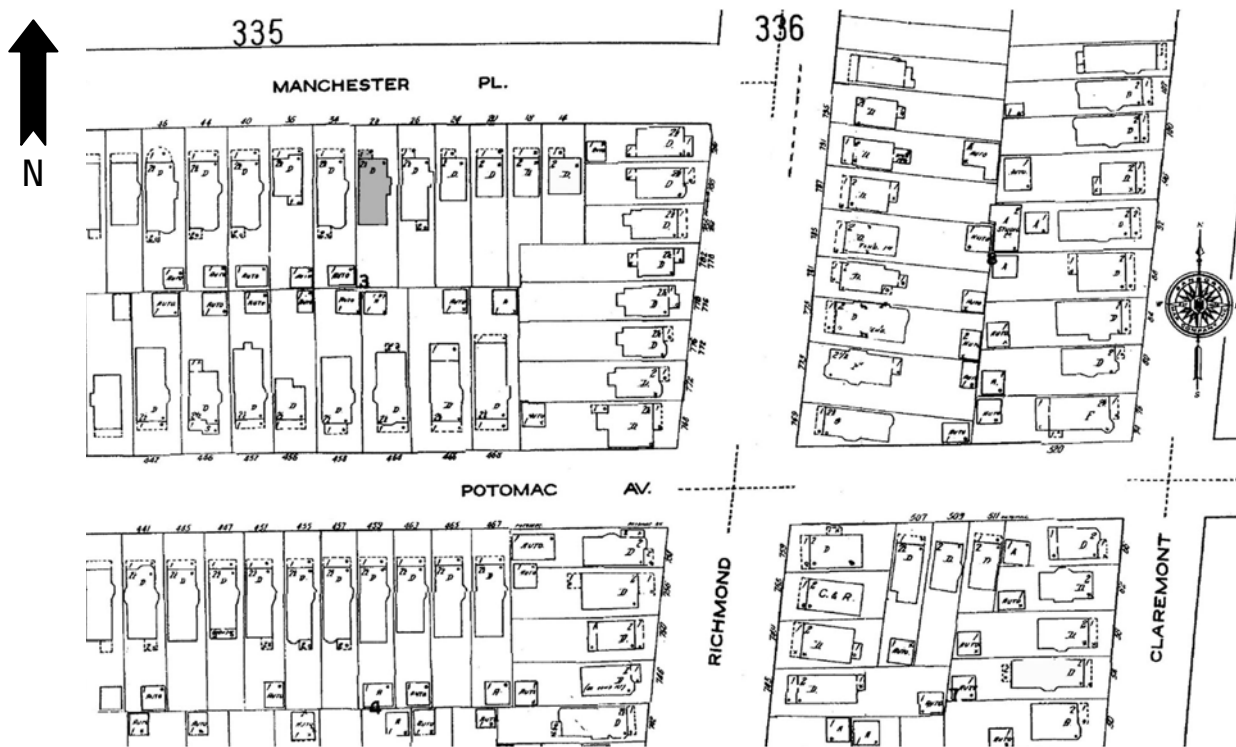
The two-family house at 28 Manchester Place is set on a standard lot, located on the south side of the street, toward its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, cross gabled, urban, frame residence with modest Queen Anne styling. It has a roughly rectangular and is set on a stone foundation. The façade has a half-width, porch in the west bay, with square column supports, spindled wood rail, flat frieze, and an entry stair. The sidlighted modestly framed main entrance is located under the porch in the extreme west bay of the façade. A large triple window grouping occupies the east bay. The second floor façade has a half-width open porch in the west bay, with modern metal rail and awning supports and a porch entrance. A bracketed polygonal oriel occupies the east bay flush beneath the projecting gable end. A paired window group with modest bracketed hood punctuates the front gable peak. Two-story rectangular bay visible on the east elevation flush beneath the slightly projecting side cross gable. Exterior wall fabrics are wood clapboard with decorative wood shingle in the front gable end. Fenestration is one-over-one double-hung wood sash and fixed, with multiple paired and triple window groupings. Exterior brick chimney visible on the forward section of the east elevation. Additional detailing includes corner boards, frieze, and lookout rafters.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 28 Manchester Place is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with modest Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Etta Rose Gardner

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-11)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 31 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 31 Manchester Place is set on a standard lot, located on the north side of the street, toward its east end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

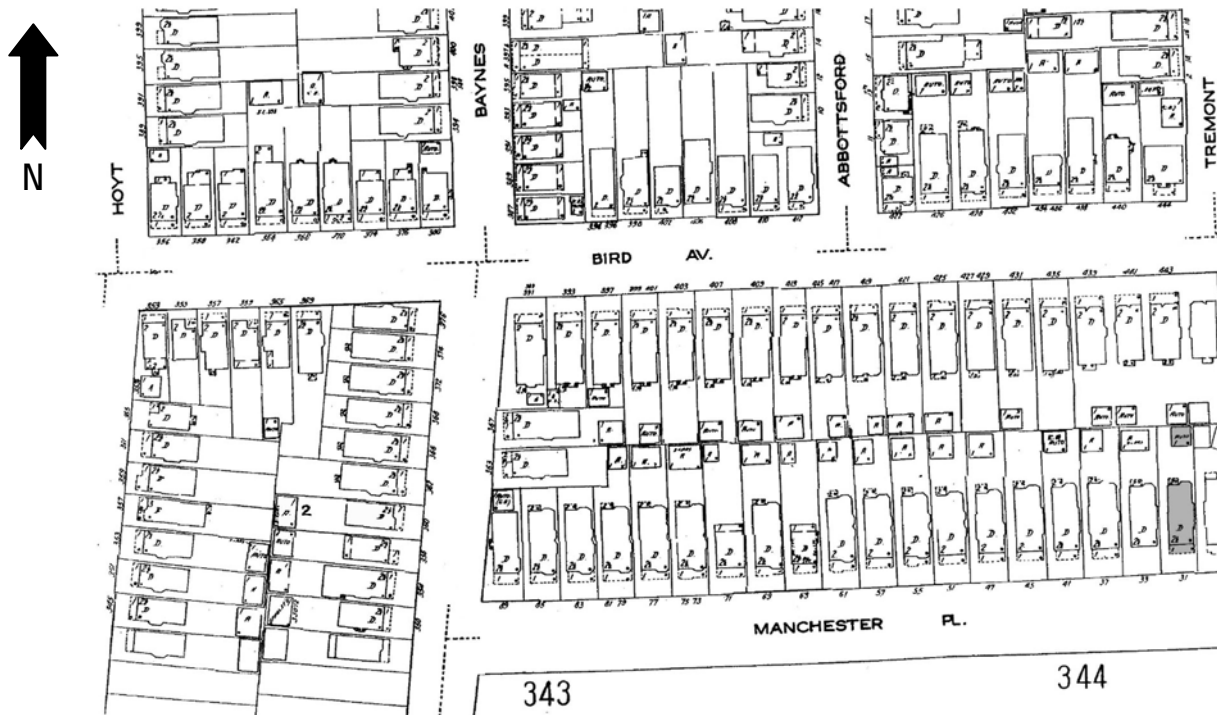
A two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style with Prairie influences. It has a rough rectangular plan and is set on a stone foundation. The façade has full-width, porch with  $\frac{3}{4}$ -height shingled elephantine square column supports set on stone piers that flow into the foundation, spindled wood rail, modest frieze, wide hipped overhands with exposed rafter tails, and an entry stair in the west bay. The sidelighted and modestly framed main entrance is located off center to the west. A framed triple window grouping occupies the east bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the west bay framed by two slender single windows, and a polygonal oriel in the east over the lower window. A large hipped roof dormer with quartet window grouping accents the front roof slope. Two-story protruding, rectangular bay visible on the east elevation flush beneath the wide overhanging eaves. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed, with multiple window groupings. A brick chimney rests on the east slope just off the center ridge. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 31 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style with Prairie influences. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.  
Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 34 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 34 Manchester Place is set on a standard lot, located on the south side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

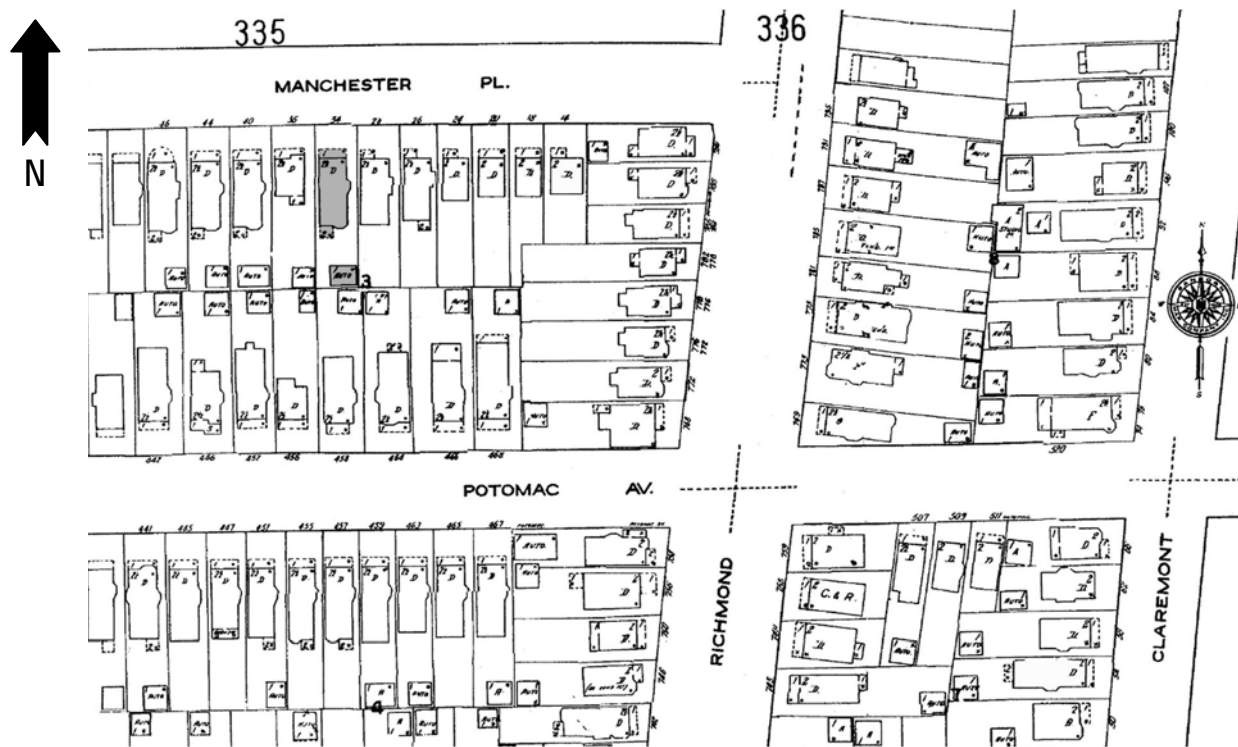
A two-and-one-half story, hipped and side gabled roof, urban, frame residence of a modest Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has full-width porch with wide frieze and cornice - ¾-width brick enclosed, living porch to the east; ¼-width entry porch to the west, with brick supports and rail and an entry stair. The sidelighted and modestly framed main entrance is located under the entry porch in the extreme west bay of the façade. The second floor façade has an open porch with modern metal rail, a porch entrance in the west bay, and a polygonal oriel in the east flush beneath the eave. A large gabled dormer with quartet window grouping accents the front roof slope. Two-story bay visible on the east elevation flush beneath slightly projecting side cross gable. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed, with multiple window groupings. A brick chimney rests on the rear west. Additional detailing includes modest corner pilasters, frieze, framing, and lookout rafters.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 34 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped and side gabled roof, urban, frame residence of a modest Queen Anne style. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Florence Marie Phillips

MAP: Sanborn Map (Revised 1886) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-12)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 41 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 41 Manchester Place is set on a standard lot, located on the north side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

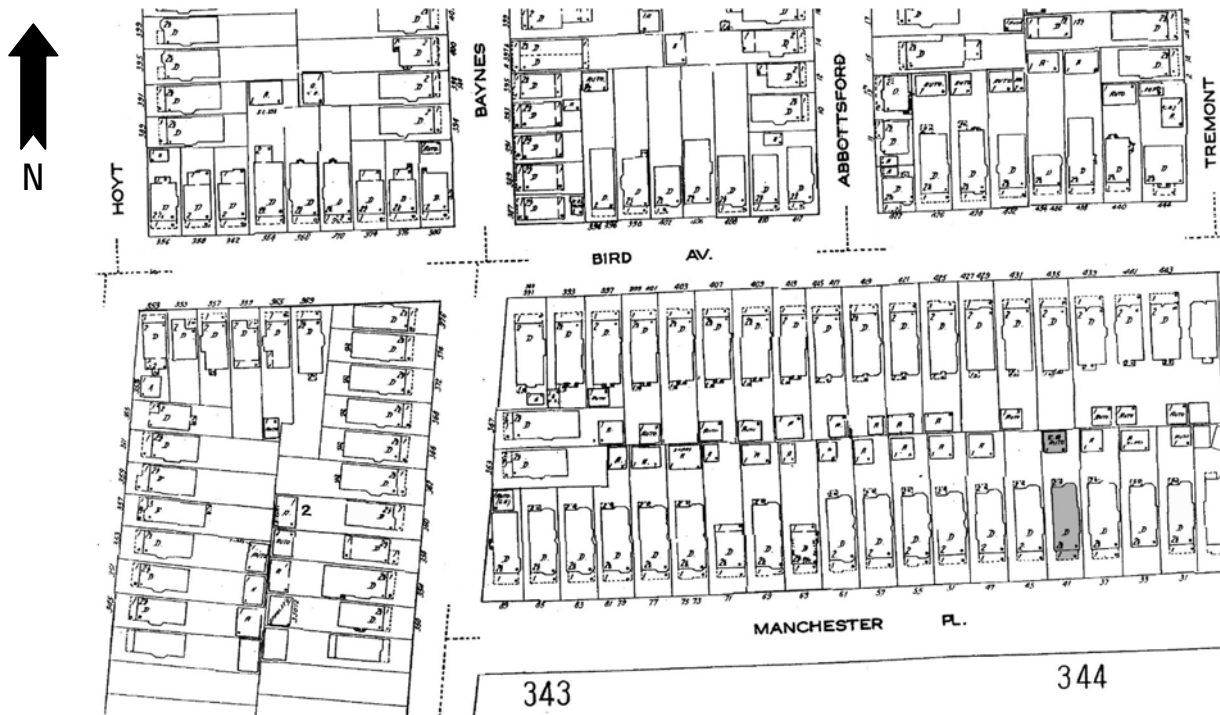
A two-and-one-half story, hipped roof, urban, frame residence of mixed influence. It has a rough rectangular plan and is set on a stone foundation. The façade has a centered 7/8-width, porch with 1/3-height columns set on thick stucco piers with crown trim, open patterned wood rail, flat frieze, overhang, and entry stair on the east side. The modestly framed main entrance is located in the center of the facade. A large single window sets symmetrically in each of the side bays. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance centered in the façade over the main entrance, and a large single window symmetrically set in each of the side bays over the lower windowing. A large gabled dormer with quartet window grouping and moderate verge boards accents the front roof slope. Two-story protruding, rectangular bay on the east elevation. Two secondary entrances visible on the west elevation. Exterior wall fabric is stucco. Fenestration is primarily one-over-one double-hung wood sash and fixed, with notable eight-over-one double-hung wood sash windowing on the lower façade. A tall brick chimney rests on the west slope. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 41 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence of mixed influence. Modestly styled doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for B. P. H. Realty Co.

MAP: Sanborn Map (Revised 1986) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 45 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

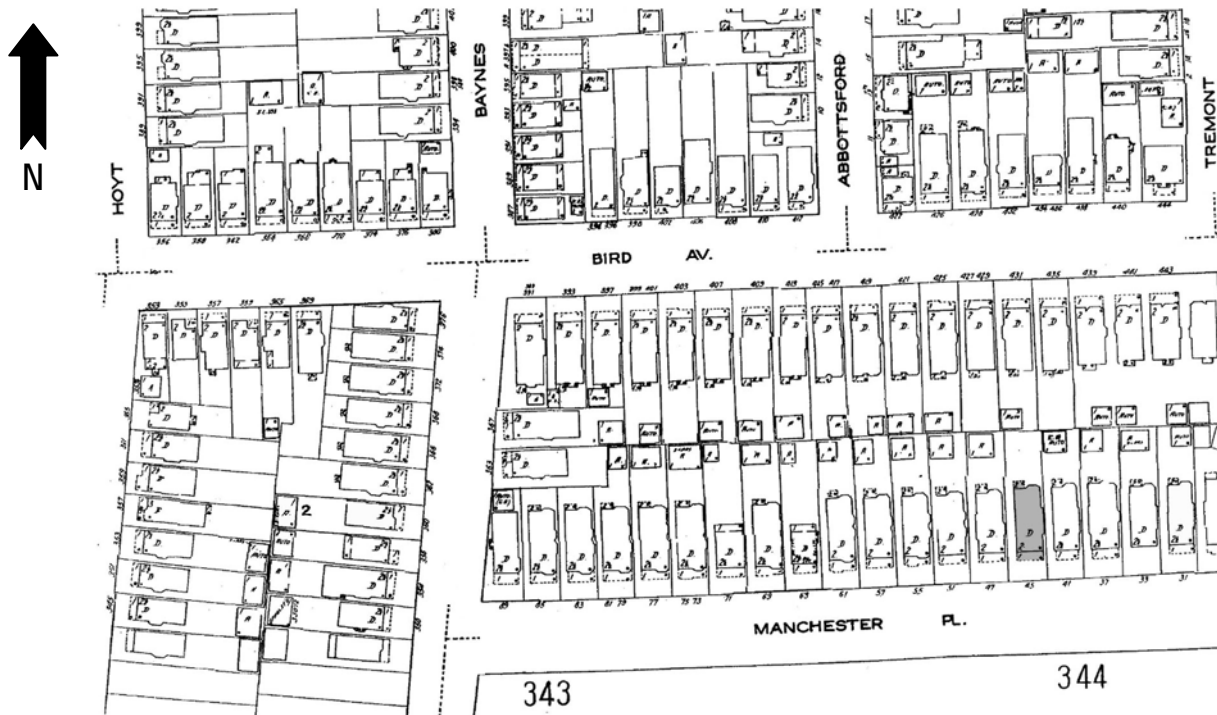
The two-family house at 45 Manchester Place is set on a standard lot, located on the north side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front-gabled, urban, frame residence of mixed Queen Anne influence. It has a rough rectangular plan and is set on a stone foundation. The façade has a centered 7/8-width, porch with front flattened arch and side arched cutout openings, solid shingled frieze, piers, and foundation, inset metal rail, and an entry stair on the west side. The modestly framed main entrance is located in the center of the façade. A large single window sets symmetrically in each of the side bays. The second floor façade has an open porch with modern metal rail, a porch entrance centered in the façade over the main entrance, and a large single window symmetrically set in each of the side bays over the lower windowing. A quartet window grouping punctuates the slightly protruding front gable. Two-story protruding, rectangular bay on the east elevation. Exterior wall fabric is wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with notable eight-over-one double-hung wood sash windowing on the façade. Additional detailing includes modest verge boards, framing, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 45 Manchester Place is significant as a good representative example of a two-and-one-half story, front-gabled, urban, frame residence of mixed Queen Anne influence. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for B. P. H. Realty Co.

MAP: Sanborn Map (Revised 1886) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-6)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 46 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 46 Manchester Place is set on a standard lot, located on the south side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

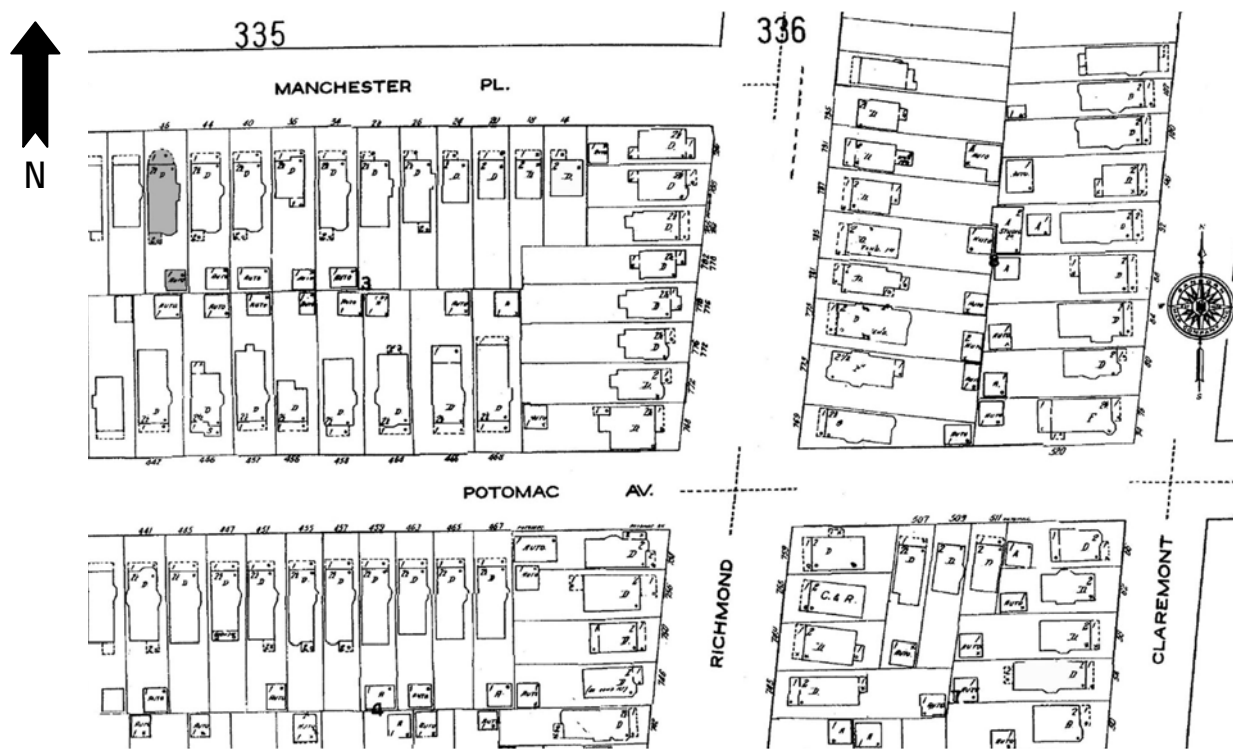
A two-and-one-half story, front-gabled, urban, frame residence of mixed Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, semi-circular, Neoclassical inspired porch with trimmed square columns, open wood rail, wide frieze with exposed rafter tails, and centered entry stair. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A large triple window group occupies the east bay. The second floor façade has an open porch with wood rail, French doors in the west, and a polygonal oriel in the east bay flush beneath the decorative wood shingled pent of the gable end. A modestly framed quartet window grouping punctuates the front gable. Two-story protruding, rectangular bay with tiered triple window groupings visible on the east elevation. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, four-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed. A brick chimney rests on the east slope. Additional detailing includes modest corner boards, frieze, framing, trim, and exposed rafter tails.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 46 Manchester Place is significant as a good representative example of a two-and-one-half story, front-gabled, urban, frame residence of mixed Queen Anne style. Notable full-width, semi-circular, Neoclassical inspired porch. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for B. P. H. Realty Co.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 55 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 55 Manchester Place is set on a standard lot, located on the north side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

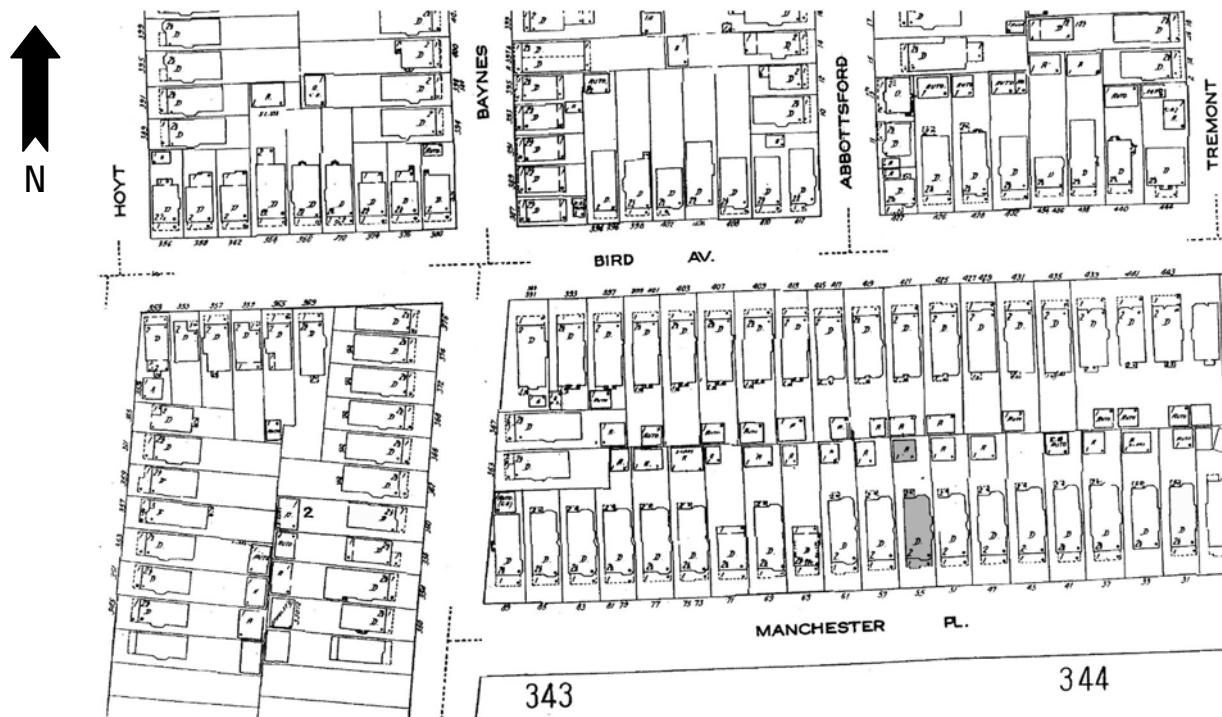
A two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender square columns, spindled wood rail, wide trimmed frieze with cornice, and slight extension over the entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A polygonal bay occupies the east. The second floor façade has an open porch with modern metal rail, a porch entrance in the west over the main entrance, and a polygonal oriel in the east over the lower bay. A large hipped roof dormer with a framed quartet window grouping accents the front roof slope. Two two-story protruding, polygonal bays visible on the east elevation. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge. Additional detailing includes modest corner boards, frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 55 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1886) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-5)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 56 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 56 Manchester Place is set on a standard lot, located on the south side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

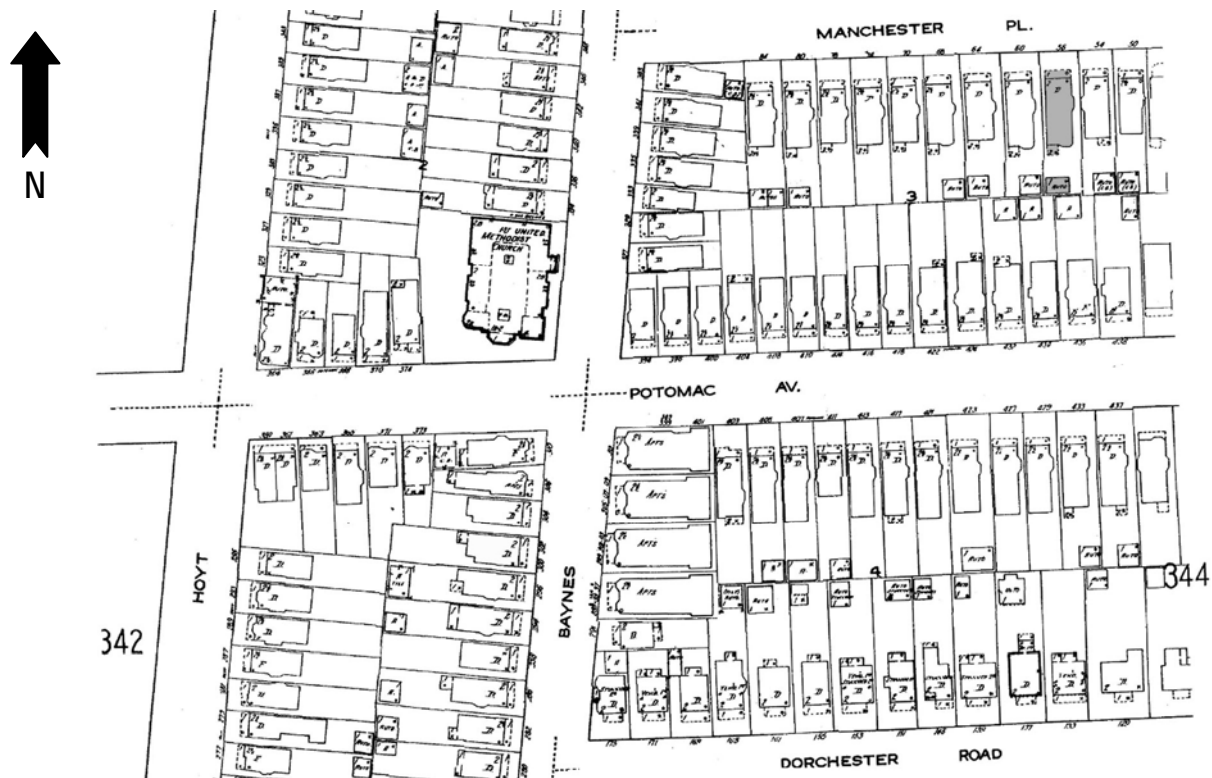
A two-and-one-half story, hipped roof and lower side gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, open wood rail, small frieze, wide overhangs, and a centered entry stair. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A large triple window grouping occupies the east. The second floor façade has an open porch with modern metal rail, a porch entrance in the west over the main entrance, and a polygonal oriel in the east bay. A large hipped roof dormer with a framed quartet window grouping accents the front roof slope. A two-story polygonal bay is visible on the east elevation beneath a slightly projecting lower side gable. Secondary side entrance visible on the west elevation. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimneys visible on the east and west roof slopes. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 56 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof and lower side gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1886) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 57 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 57 Manchester Place is set on a standard lot, located on the north side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

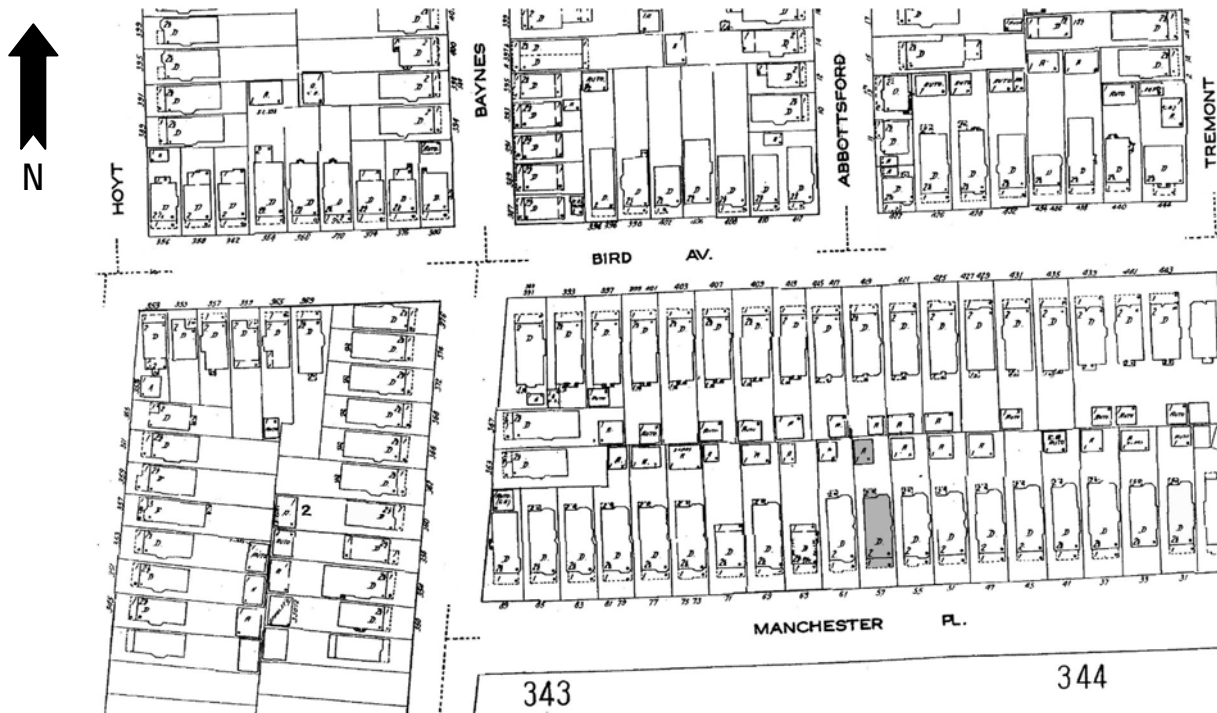
A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, modest frieze and cornice with exposed rafter tails, and an entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A large triple window occupies the east. The second floor façade has an open porch with open wood rail, a porch entrance in the west over the main entrance, and a large triple window in the east bay over the lower windowing. A quartet window grouping punctuates the slightly protruding gable end. Two two-story polygonal bays are visible on the east elevation flush beneath the overhanging flared eaves. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible. Additional detailing includes modest verge boards and framing.

A garage occupies the rear west corner.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 57 Manchester Place is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-4)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 60 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 60 Manchester Place is set on a standard lot, located on the south side of the street. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

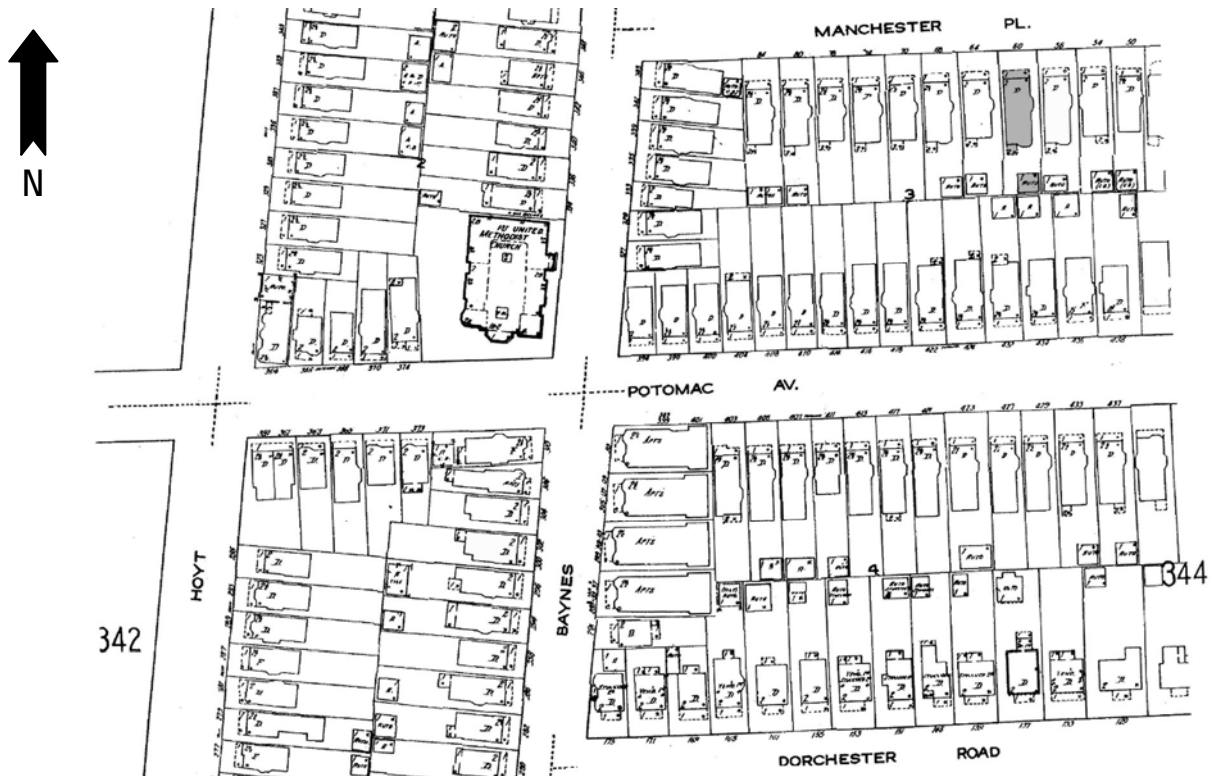
A two-and-one-half story, hipped and lower side gabled, urban, frame residence with Shingle styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with square shingled columns with modest capital and decorative brackets beneath a frieze with flattened arch cutouts, open wood rail that extends down over the foundation, wide overhangs, and a centered entry stair. The main entrance with modest sidelight surround is located in the west bay of the façade. A large triple window grouping occupies the east. The second floor façade has a remaining porch entrance in the west over the main entrance, and a polygonal oriel in the east bay. A large gabled dormer accents the front roof slope. A two-story polygonal bay is visible on the east elevation beneath a slightly projecting lower side gable. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the forward east roof slope. Additional detailing includes modest frieze, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 60 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped and lower side gabled, urban, frame residence with Shingle styling. Uncommon Shingle styling contemporary with the later portion of the nineteenth century, though, less frequent in this neighborhood in which later urban singles and doubles of Queen Anne style abound. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1886) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 68 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 68 Manchester Place is set on a standard lot, located on the south side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

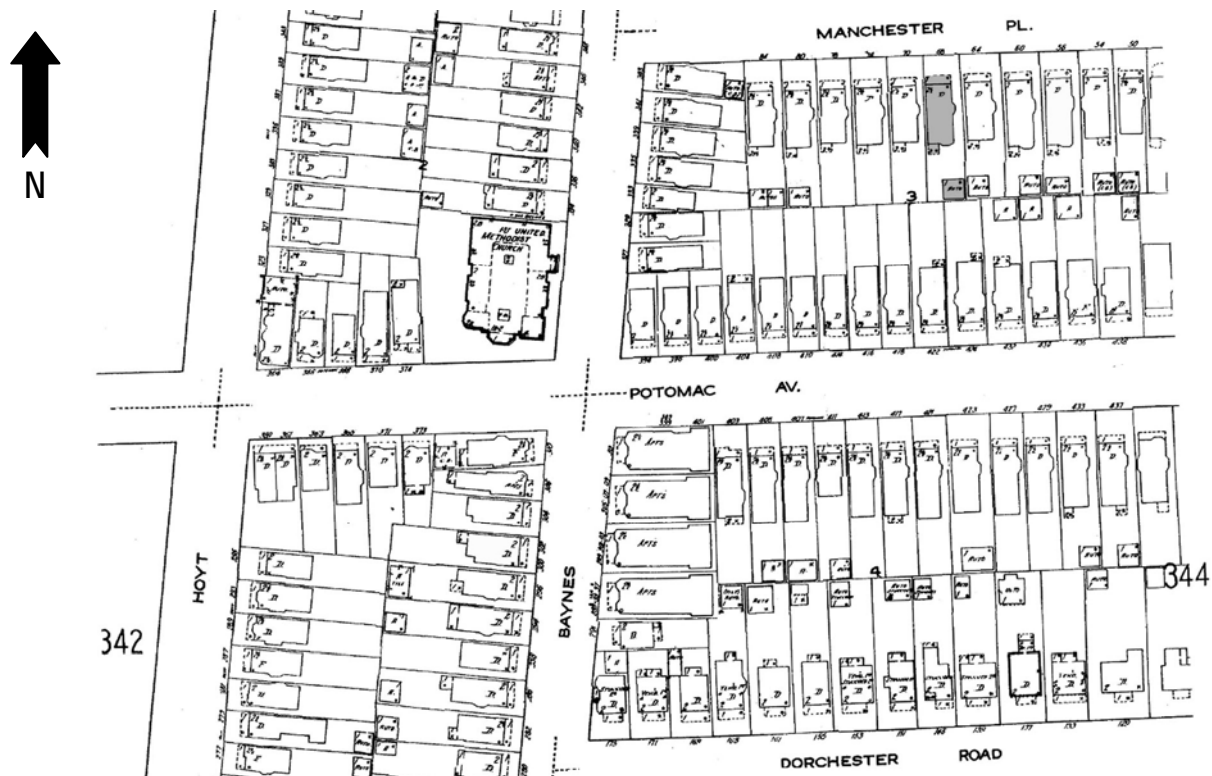
A two-and-one-half story, side gabled, urban, residence with mixed Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a center, 7/8-width porch with ¾-height Ionic columns set on stone piers that flow into the foundation, spindled wood rail, flat frieze, wide overhangs with exposed rafter work, and a centered entry stair. The main entrance with modest sidelighted surround is located in the west bay of the façade under the porch. A framed triple window grouping occupies the east bay. The second floor façade has an open porch with ½-height trimmed wood posts, open wood rail, and metal awning supports, a porch entrance in the west, and a polygonal oriel in the east. Two gabled dormer with paired windows and pent enclosed peaks accent the front roof slope. Two-story, roofed polygonal bay visible on the east elevation. Rear section of residence not included under main block's side gable. Exterior wall fabrics are wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with six-over-one double-hung wood sash on the front dormers. A brick chimney rests just off the ridge on the east corner of the front slope. Additional detailing includes modest belt course, frieze, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 68 Manchester Place is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence with mixed Queen Anne styling. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1886) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-16)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 69 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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The two-family house at 69 Manchester Place is set on a standard lot, located on the north side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

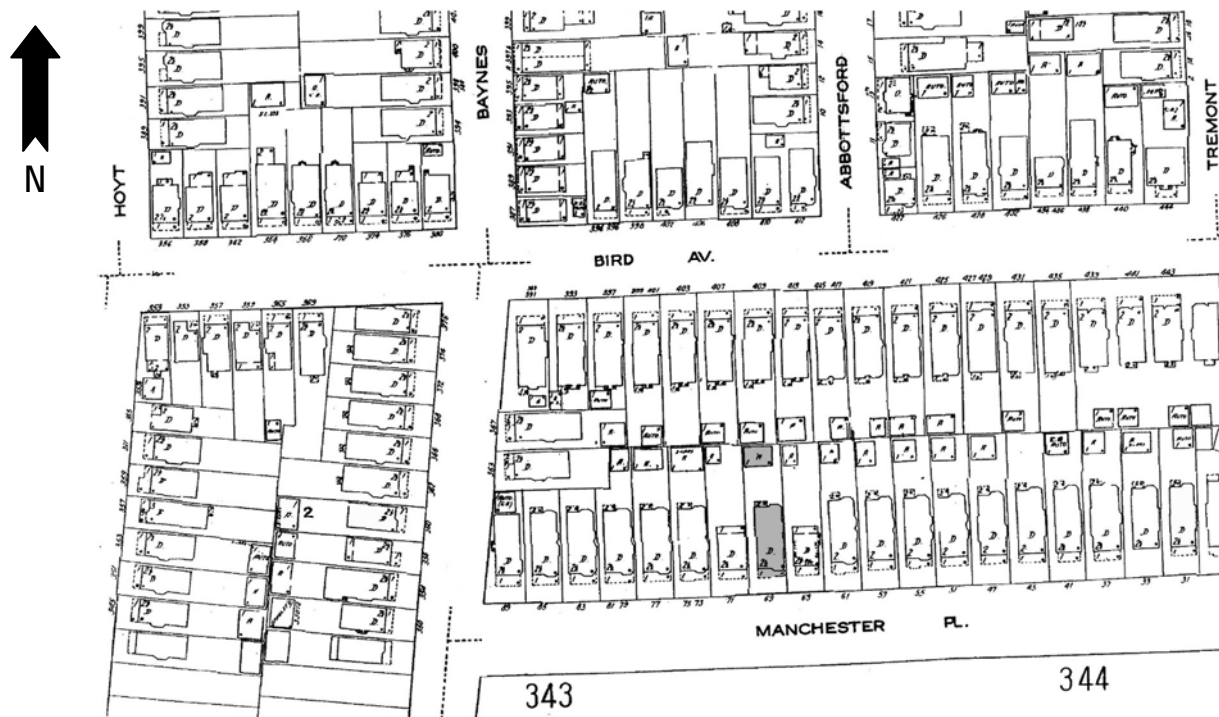
A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with metal rail and supports, flat frieze with flattened arch cutouts, overhang, and an entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A wide polygonal bay occupies the east. The second floor façade has an open porch with metal rail and awning supports, a wide polygonal oriel in the east over the lower bay, and a porch entrance in the west centered within a polygonal oriel which extends slightly to the west and wraps the corner. A quartet window grouping punctuates the pent enclosed front gable peak. A gabled dormer rests on the west roof slope. Exterior wall fabrics are wood clapboard of contrasting colors on the lower and upper stories. Fenestration is one-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, framing, and large eaves.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 69 Manchester Place is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for H. E. Phillips

MAP: Sanborn Map (Revised 1886) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 70 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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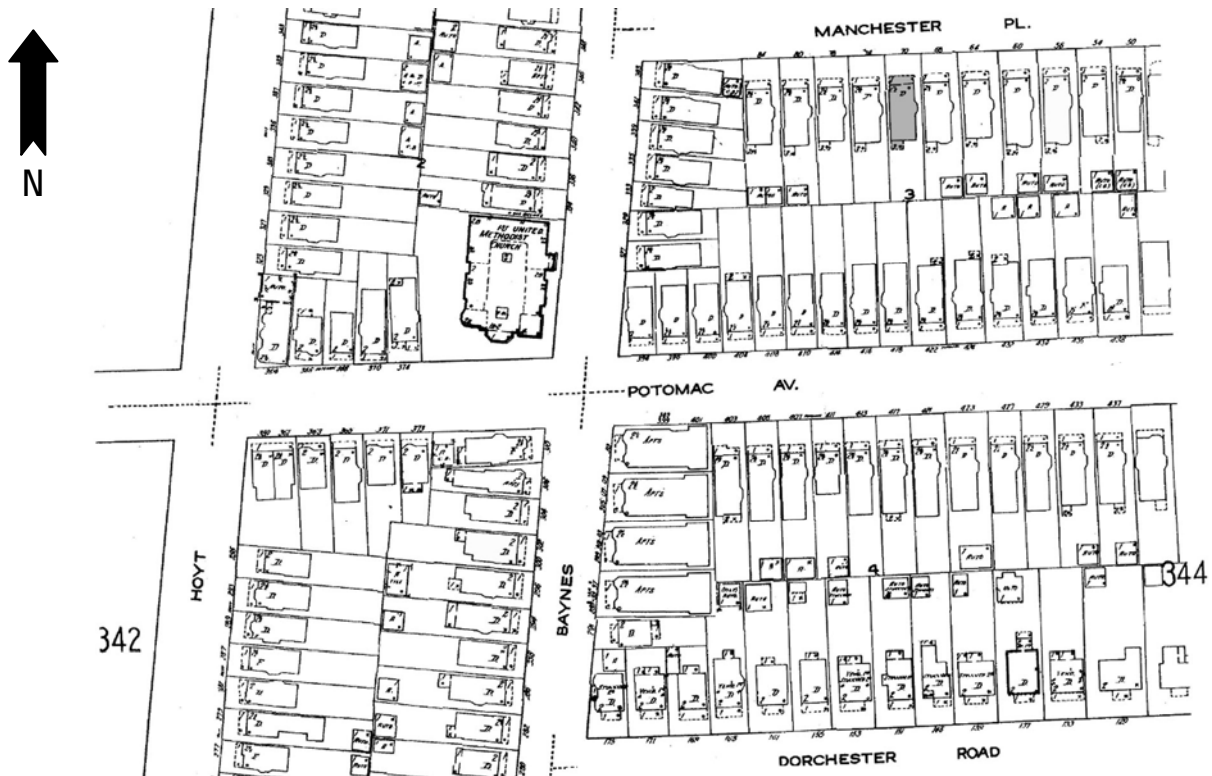
The two-family house at 70 Manchester Place is set on a standard lot, located on the south side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with Doric columns, open wood rail, flat frieze, overhang, covered foundation, and an entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A large triple window grouping occupies the east bay. The second floor façade has an open porch with ½-height trimmed wood posts, open wood rail, and metal awning supports, a porch entrance in the west over the main entrance, a polygonal oriel in the east bay flush beneath the pent of the gable end. A triple window group punctuates the front gable peak. Two-story polygonal bay on the east elevation. Roofed secondary entrance visible on the west elevation. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimneys on the east and west roof slopes. Additional detailing includes corner boards, frieze, trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 70 Manchester Place is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-17)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 71 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 71 Manchester Place is set on a standard lot, located on the north side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

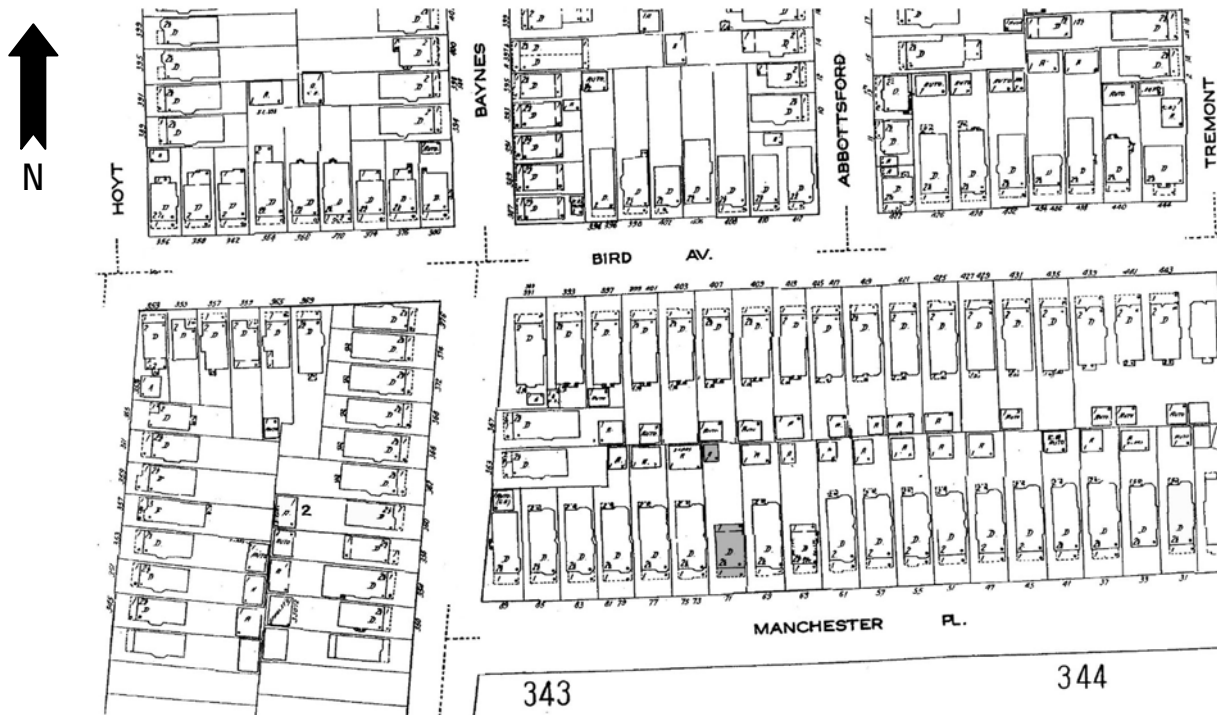
A two-story, hipped roof, urban, frame, modest vernacular Prairie styled American Foursquare residence. It has a square plan. The façade has a full-width, flat roof porch with square column supports that extend to the ground, open wood rail, medium frieze, wide overhangs, and an entry stair in the west. The main entrance is located on the façade, off center to the west. An elongated triple window group occupies the east bay.. The second floor façade is distinguished by symmetric triple window groups in both side bays. Low hipped roof dormers with triple window groups rest on all the roof slopes. A small, roofed, first-floor, bay with triple window is visible on the east elevation. Small rear section not included under main block hipped roof. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one, four-over-one, and four-over-two double-hung wood sash and fixed multi-pane. Brick chimney visible on the forward corner of the east slope.

A small garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 71 Manchester Place is significant as a good representative example of a two-story, hipped roof, urban, frame, modest vernacular Prairie styled American Foursquare residence. A style characteristic of early twentieth century residences, though more common in suburban than urban settings. Infrequently seen in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1886) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 73 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

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**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 73 Manchester Place is set on a standard lot, located on the north side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

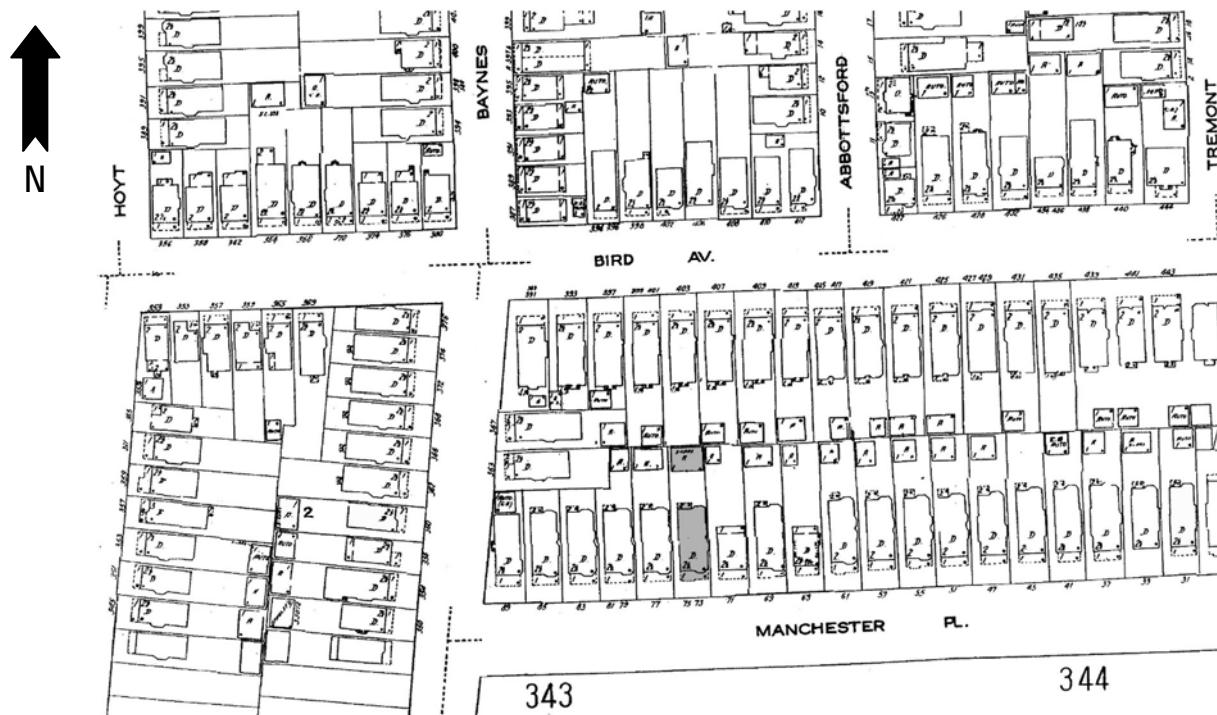
A two-and-one-half story, side gabled, urban, residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with modern metal rail and supports, trimmed frieze and cornice, and a small projection over the entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the façade under the porch. A wide polygonal bay occupies the east bay of the facade. The second floor façade has an open porch with modern metal rail, a wide polygonal bay in the east over the lower bay, a porch entrance centered in a smaller polygonal oriel in the west bay. A lower front gable with single window punctuates the lower east section of the front roof slope. A small gabled dormer with paired window and scrolled verge boards rests on the western section. Rear section of residence not included under main block's side gable. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with four-over-one and six-over-six double-hung wood sash windowing in the dormer gables. Brick chimney rests on the eastern edge of the front slope just off the ridge. Additional detailing includes modest corner boards, frieze, framing, and wide pent and eaves.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 73 Manchester Place is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence with Queen Anne styling. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Harry N. Phillips

MAP: Sanborn Map (Revised 1986) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-1)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 74 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Gratin-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

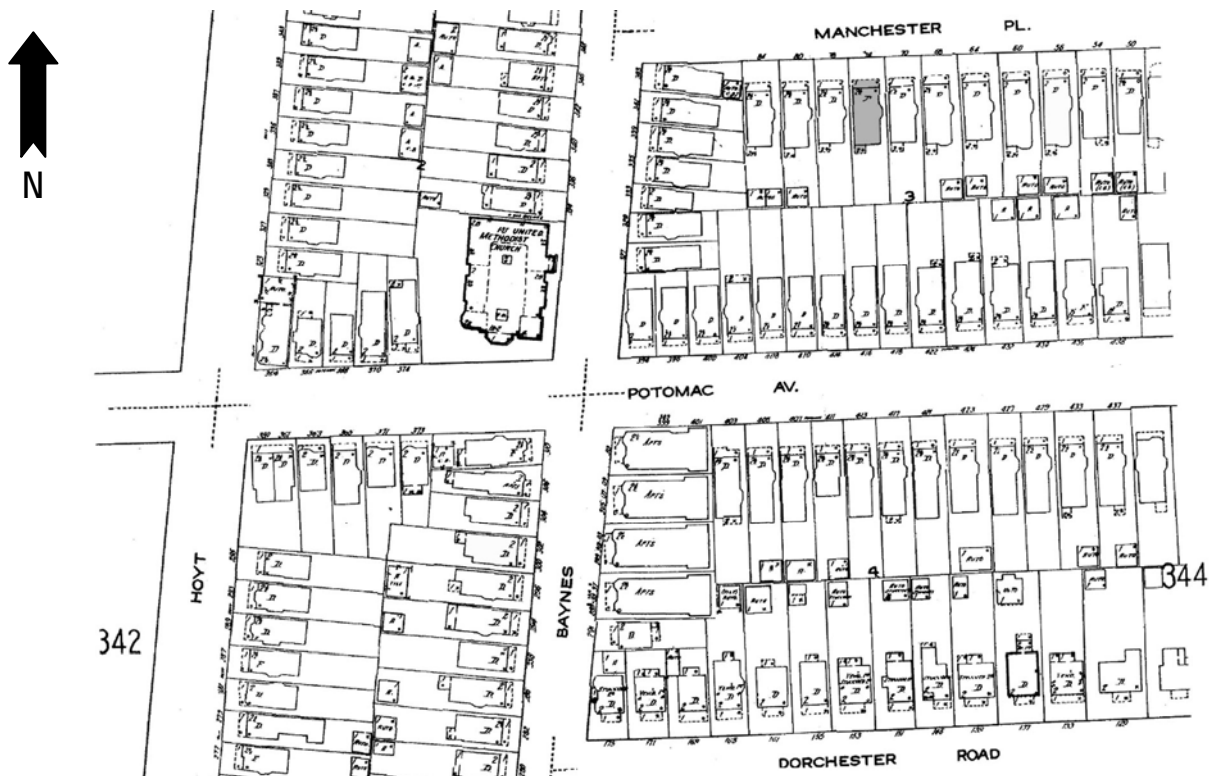
The two-family house at 74 Manchester Place is set on a standard lot, located on the south side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with square elephantine column supports, metal rail, flat frieze, and entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the façade. A framed triple window grouping occupies the east bay. The second floor façade has an open porch ½-height wood posts, solid wood rail, and modern metal awning supports, a porch entrance in the west bay over the main entrance, and a polygonal bay in the east over the lower window, flush beneath the bracketed eave. A large gabled dormer with triple window group accents the front roof slope. Two-story protruding, polygonal bay visible on the east elevation. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the east slope. Additional detailing includes modest corner boards, frieze, framing, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 74 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1886) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 77 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Gratin-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 77 Manchester Place is set on a standard lot, located on the north side of the street, toward its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

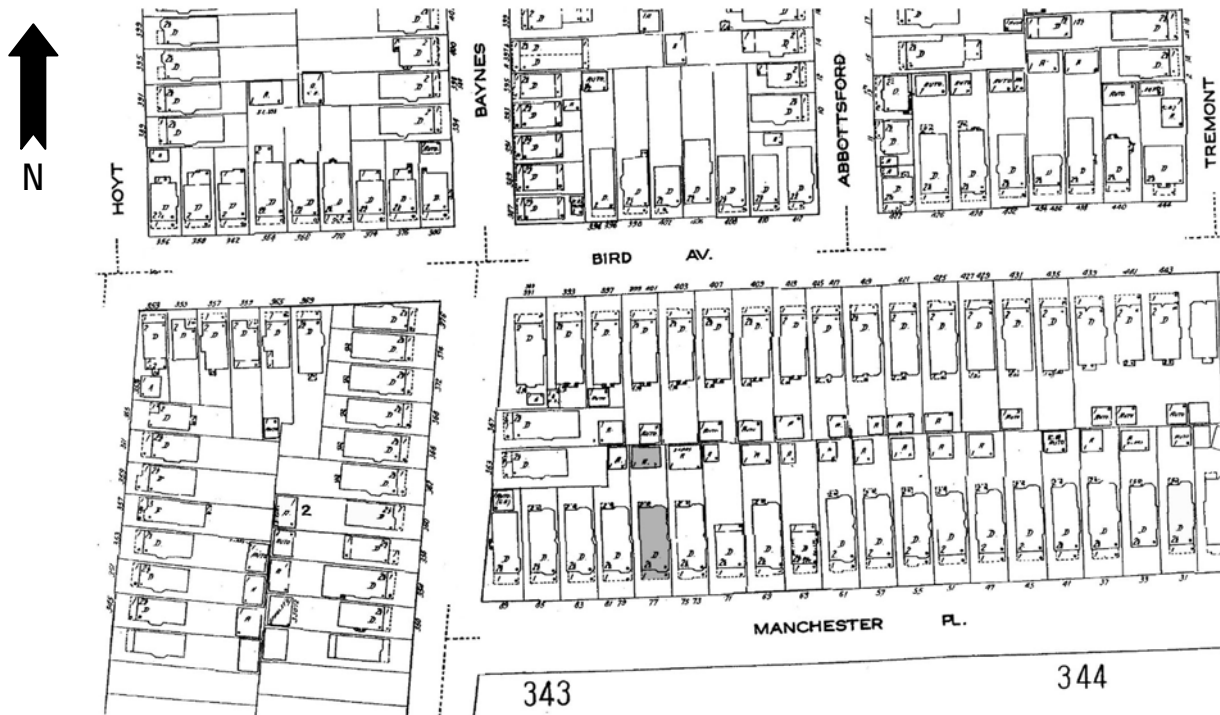
A two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with metal rail and supports, wide frieze, and an entry stair in the west bay. The sidelighted and modestly framed main entrance is located in the west bay of the facade. A wide polygonal bay occupies the east. The second floor façade has an open porch with metal rail, a wide polygonal oriel in the east over the lower bay, and a porch entrance in the west centered within a polygonal oriel which extends slightly to the west to wrap the corner. Gabled dormer with triple window group accent extends off the central ridge on the front roof slope. Similar dormers on the east and west slopes. Two two-story, slightly protruding, polygonal bays on the east elevation, contained under the eaves. Secondary side entrance visible on the west elevation. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed. Brick chimney visible on the forward portion of the east slope. Additional detailing includes modest corner boards, frieze, framing, and large eaves.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 77 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence of a modest Queen Anne style. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Harry N. Phillips

MAP: Sanborn Map (Revised 1886) – Plate 335



PHOTOGRAPH: (Grant-Ferry-Forest: R-37; N-29)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 78 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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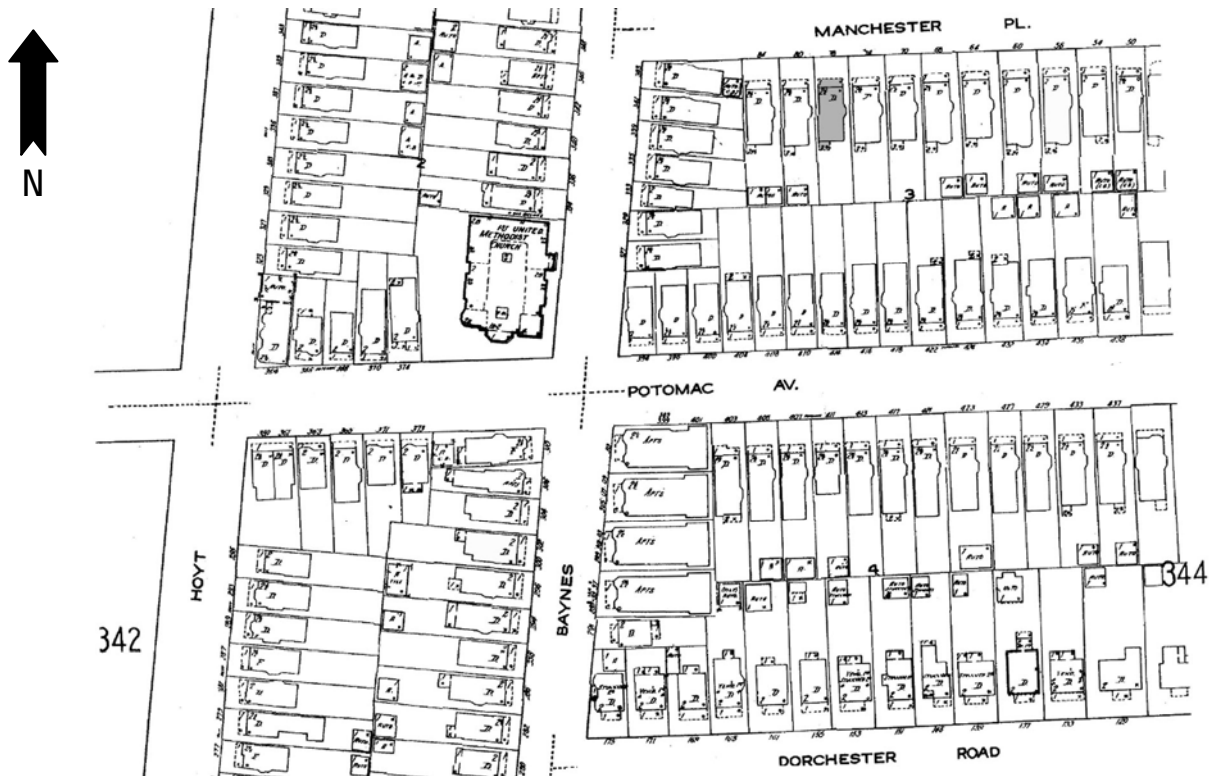
The two-family house at 78 Manchester Place is set on a standard lot, located on the south side of the street, at its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with trimmed square columns, open wood rail, ornamented frieze, hipped overhang, covered foundation, and entry stair in the west bay. The sidelighted and modestly framed main entrance is located under the porch in the west bay of the façade. A triple window grouping occupies the east bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the west over the entrance and a polygonal oriel in the east over the lower window. A triple window group punctuates the pent enclosed front gable. Two-story protruding, polygonal bay on the east elevation. Secondary side entrance with awning visible on the west elevation. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimneys on the east and west slopes. Additional detailing includes modest corner boards, frieze, trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 78 Manchester Place is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J Hudson

MAP: Sanborn Map (Revised 1886) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 80 Manchester Place

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The building at 80 Manchester Place is located

The two-family house at 80 Manchester Place is set on a standard lot, located on the south side of the street, at its west end. Manchester Place is a small, east-west, residential street that runs between Baynes Avenue and Richmond Avenue. The property is located in a nice residential area of the north east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

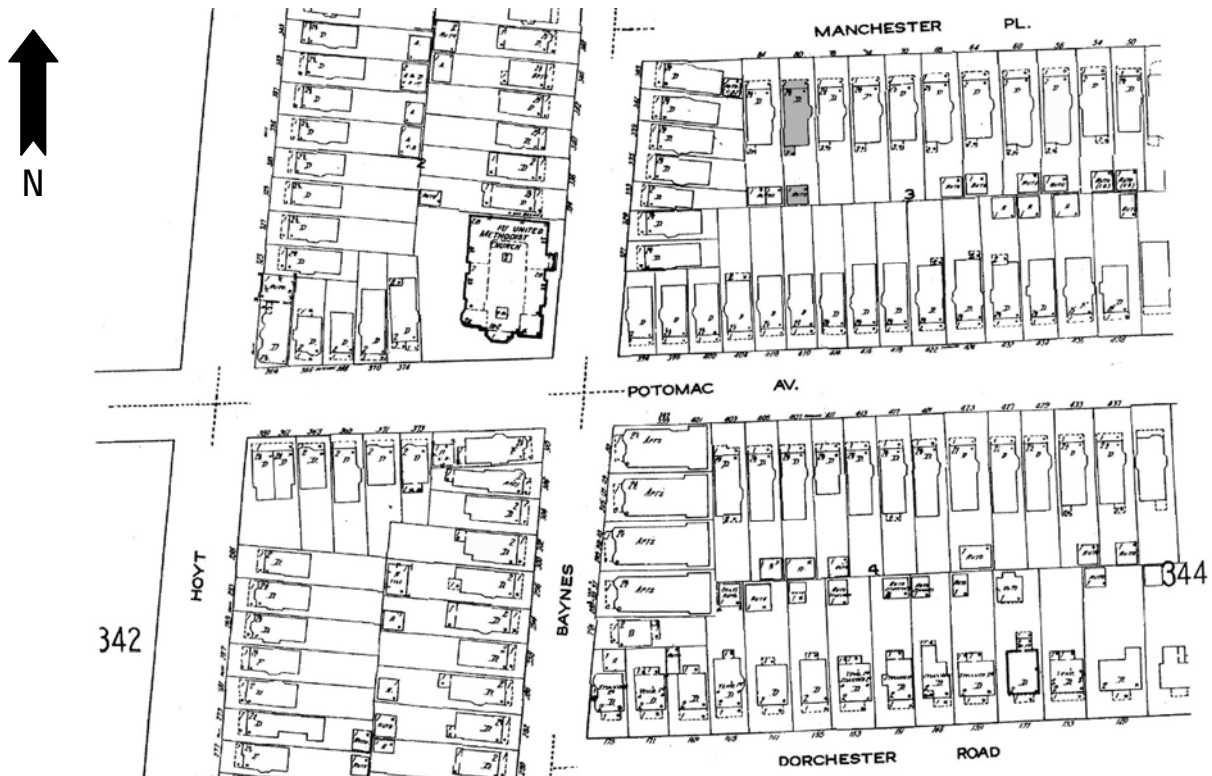
A two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, porch with Doric columns, open wood rail, flat frieze, lattice covered foundation, and entry stair in the west bay. The sidelighted and modestly framed main entrance is located under the porch in the west bay of the facade. A triple window grouping occupies the east bay. The second floor façade has an open porch with modern metal rail, a porch entrance in the west over the entrance and a polygonal oriel in the east over the lower window. A gabled dormer with a triple window group rests on the front roof slope. Second-story protruding, polygonal oriel on the east elevation. Exterior wall fabrics are wood clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney on the east slope. Additional detailing includes modest belt course, corner boards, frieze, trim, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 80 Manchester Place is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for M. J. Hudson

MAP: Sanborn Map (Revised 1886) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-20)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 540 Massachusetts Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1900

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 540 Massachusetts Avenue is set on a triangular corner lot, located on the north side of the street, at the west side of the intersection of Massachusetts Avenue and West Ferry Avenue. Massachusetts Avenue is a modest, primarily residential street that runs on a north west diagonal across the lower west side. The street is not included within the survey area, as it is located south of the boundary on which this included property sits. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

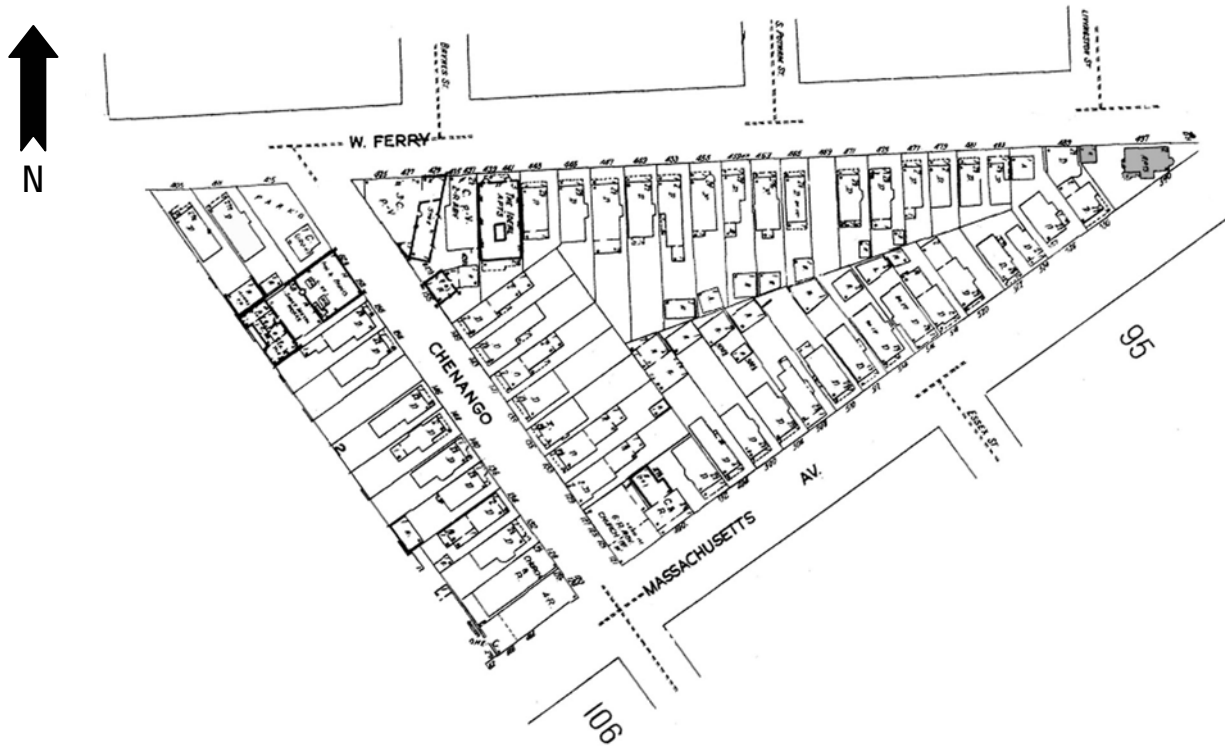
A two-story, hipped and lower gabled, urban, frame residence of mixed period Queen Anne influenced styling. It has a rough rectangular plan and is set on a stone foundation. The dominating feature of the façade is a central, projecting, lower front gabled bay. A 1/3-width, metal railed, open porch sets in the west, wrapping around the corner and extending partway down the west elevation. The main entrance is located in the west bay of the façade, nestled in the ell of the gabled bay, contained within a flat roofed enclosed vestibule. Sparse single windows set in the west bay. A polygonal bay is visible on the west elevation. A two-story, flat roofed, engaged, conical tower with tiered windowing sets at the front corner on the east elevation. Side entrance with small metal railed open porch visible further to the rear on the east elevation; small second-story rectangular oriel visible also. Additional entrance to the east in the rear, fronting West Ferry Avenue; upper story shallow rectangular oriel with windowing above, ending flush beneath the slightly projecting pent enclosed lower gable. Exterior wall fabrics are wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Brick chimney visible centrally on the front slope near the ridge. Additional detailing includes simple belt course, frieze, and trim.

A garage sets in the far rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 540 Massachusetts Avenue is significant as a good representative example of a representative example of a two-story, hipped and lower gabled, urban, frame residence of mixed period Queen Anne influenced styling. Its plan and orientation reflect the odd triangular corner lot on which is set; a product of Buffalo's street layout. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 105



PHOTOGRAPH: (Grant-Ferry-Forest: R-37; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1095 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905-1916

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

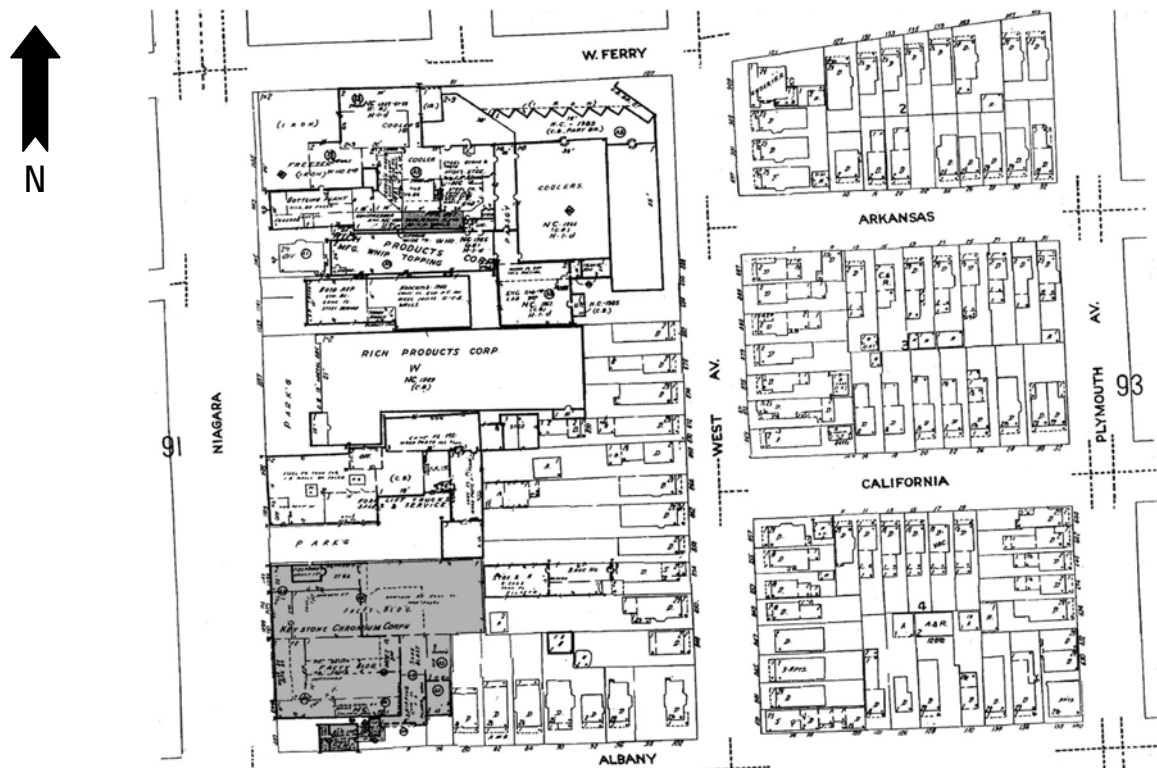
The building at 1095 Niagara Street is set on a large slightly elled corner lot, located on the east side of the street at the south end of the block between Albany Street and West Ferry Avenue. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far south western section of the Grant-Ferry-Forest neighborhood.

A two-story, flat roofed, early twentieth century, urban, brick, factory building. It has a large slightly elled plan, matching the shape of the lot on which it sets; single-story section at rear, additional outbuildings. The lower façade is defined by an entrance in the southern bay and two loading doors in the north, all spaced by paired windows in subtly arched openings. The upper façade is defined by simple single windowing with similar subtly arched openings. Side elevations have a variation of the façade windowing, divided into three vertical sections by pilasters and slight recessed panels. Roofline marked with a small parapet, additional cornice and detailing. Exterior fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional multi-panes.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1095 Niagara Street is significant as a good representative example of a two-story, flat roofed, early twentieth century, urban, brick, factory building. Two-story factory built for the Liberty Brass Foundry. Additions built in 1906-1916. Later occupied by the Aluminum Castings Co. and the American Body Co.

MAP: Sanborn Map (Revised 1886) – Plate 92



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-28)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1100 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1893; warehouse & grain elevator 1921

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☒ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 1100 Niagara Street is set on a large slightly trapezoidal corner lot, located on the west side of the street at the south end of the block between Albany Street and Gull Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far south western section of the Grant-Ferry-Forest neighborhood.

An early twentieth century, urban, factory building complex. Multiple components- main multiple story front gabled building, added single-story warehouse section at the south, a reinforced concrete grain elevator at the rear, and additional outbuildings. Main structure distinguished by stepped parapet, extensive corbelling, and large elongated arched windowing arranged in pairs and spaced by subtle pilasters and recessed panels.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1100 Niagara Street is significant as a good representative example of an early twentieth century, urban, brick, factory building complex. Built as the malt house of the Charles G. Curtiss Malting Co., the main section originally housed the malting drums. It is especially noteworthy for the stepped front gable and extensive corbelling. A reinforced concrete grain elevator was added at the rear in 1921, and a one-story warehouse addition was appended to the south side; the facility was then used as a grain and feed supply house for the Co-operative Grange League Federation Exchange.

MAP:



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-26)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1114 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Commercial

Architect/Builder, if known Edward B. Green & Sons Date of construction, if known 1931

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 1114 Niagara Street is set on a long lot, located on the west side of the street on the block between Albany Street and Gull Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far south western section of the Grant-Ferry-Forest neighborhood.

A one-story, flat roofed, early-mid-twentieth century, urban, brick, commercial building with simple Art Deco styling. The main entrance is located centrally on the façade, with wide glass surround. Symmetric side bays defined by three even spaced windows, with feature panels above incorporating gear ornamentation. Upper decorative band of contrasting stone with detail. Roofline marked with a small central parapet. Narrowed rear section with multiple loading bays visible on the south elevation, and complete frieze with flared cornice molding.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1114 Niagara Street is significant as a good representative example of an architect designed one-story, flat roofed, early-mid-twentieth century, urban, brick, commercial building with simple Art Deco styling. Built for the A. F. Oliver Gear & Machine Co. This firm was founded in 1907 for the production of custom-made gears.

MAP:



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-27)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1200 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Commercial

Architect/Builder, if known Sidney H. Woodruff Date of construction, if known 1901-1902; rear bldgs. 1905-1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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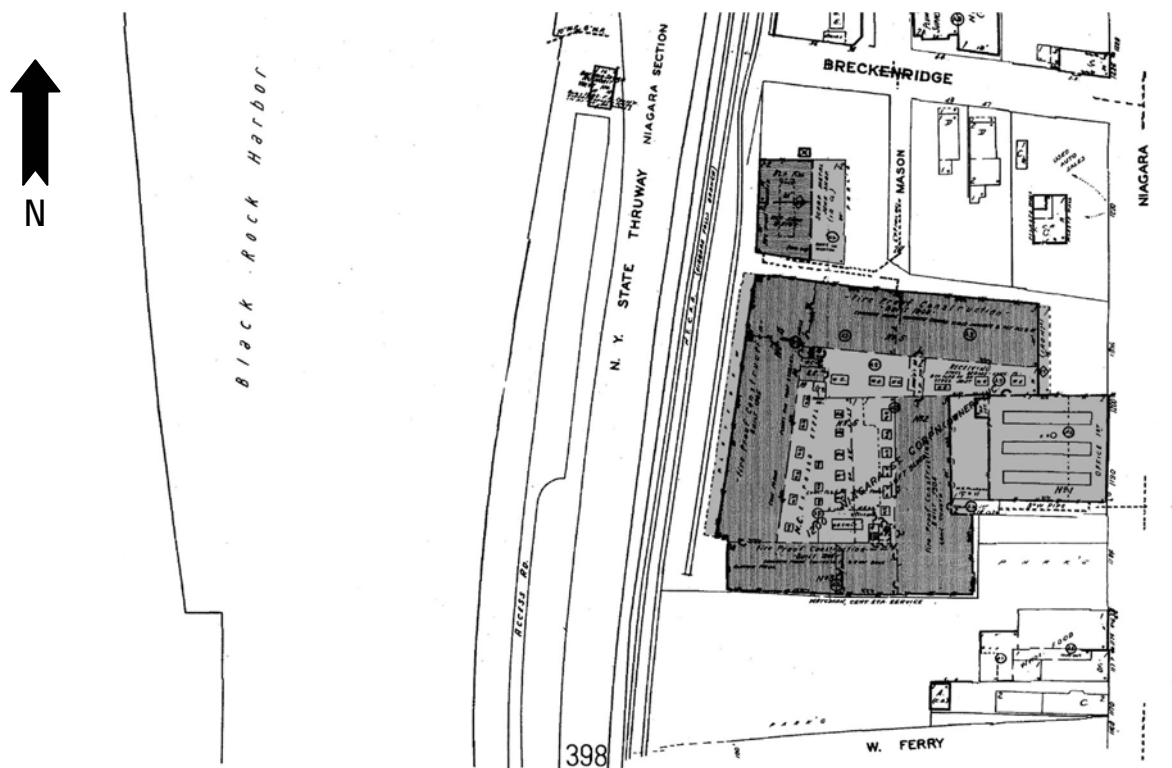
The building at 1200 Niagara Street is set on an extensive polygonal lot, located on the west side of the street that spans the block between West Ferry Avenue and Breckenridge Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far south western section of the Grant-Ferry-Forest neighborhood.

An early twentieth century, urban, brick, office and factory building complex. Multiple components- main, two-story, regular rectangular building; additional factory buildings at the rear. Façade defined by regular spaced, tiered single windowing with sills and subtle arched openings. The main entrance with recessed arched surround, sidelights, and flat roofed awning is located slightly off center to the north on the lower façade. Additional entrances at the far end of either side bay, set in alignment with the windowing. Similar arched windowing pattern on the side elevations. Small parapet at the front roofline.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1200 Niagara Street is significant as a good representative example of an architect designed, early twentieth century, urban, office and factory building complex. Built as the office and factory building of the E. R. Thomas Motor Co., a nationally prominent early manufacturer of automobiles. The three-story reinforced concrete factory buildings at the rear were added in 1905-1909. Here were produced the famous "Thomas Flyer" automobiles, one of which won the first New York to Paris auto race in 1908. Thomas sold the company in 1912, and the buildings were subsequently used for other industrial purposes. Now used by Rich Products Co.

**MAP:** Sanborn Map (Revised 1986) – Plate 353



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1280 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902-1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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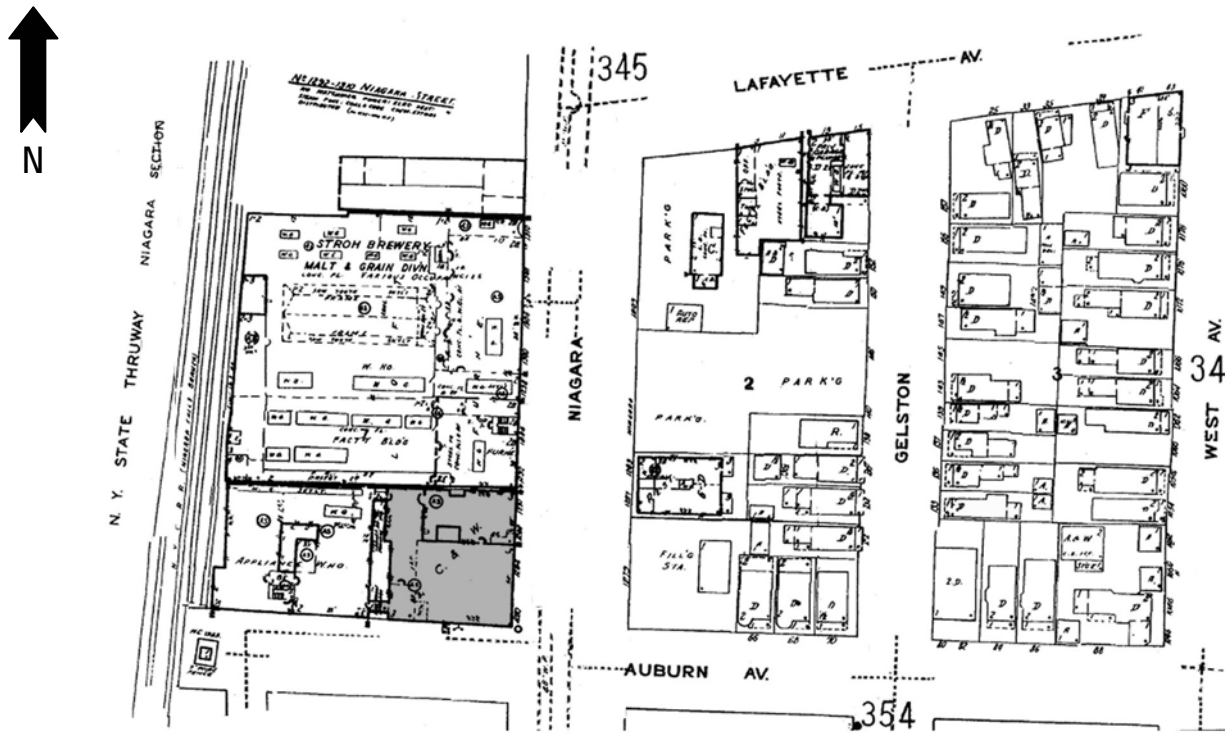
The building at 1280 Niagara Street is set on a square corner lot, located on the west side of the street on the block between Auburn Avenue and Brace Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far south western section of the Grant-Ferry-Forest neighborhood.

A three-story, flat roofed, early twentieth century, urban, brick, factory building. It has a regular square plan. Entrance with added pedimented surround sets into the north on the lower façade. Paired windowing in the far north bay; single windowing with subtle arched openings in the south. The upper façade is defined by regular spaced triple window groupings. The south side elevation has similar windowing patterns; additional entrance. Belt course trim at the second floor, additional detail at the cornice.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1280 Niagara Street is significant as a good representative example of a three-story, flat roofed, early twentieth century, urban, brick, factory building. Built as the factory of the Buffalo Gasoline Motor Co., which manufactured marine engines for use in a wide variety of boats. The company was founded in 1899.

MAP: Sanborn Map (Revised 1986) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-31)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1300 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known Colson & Hudson Date of construction, if known 1910-1920

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

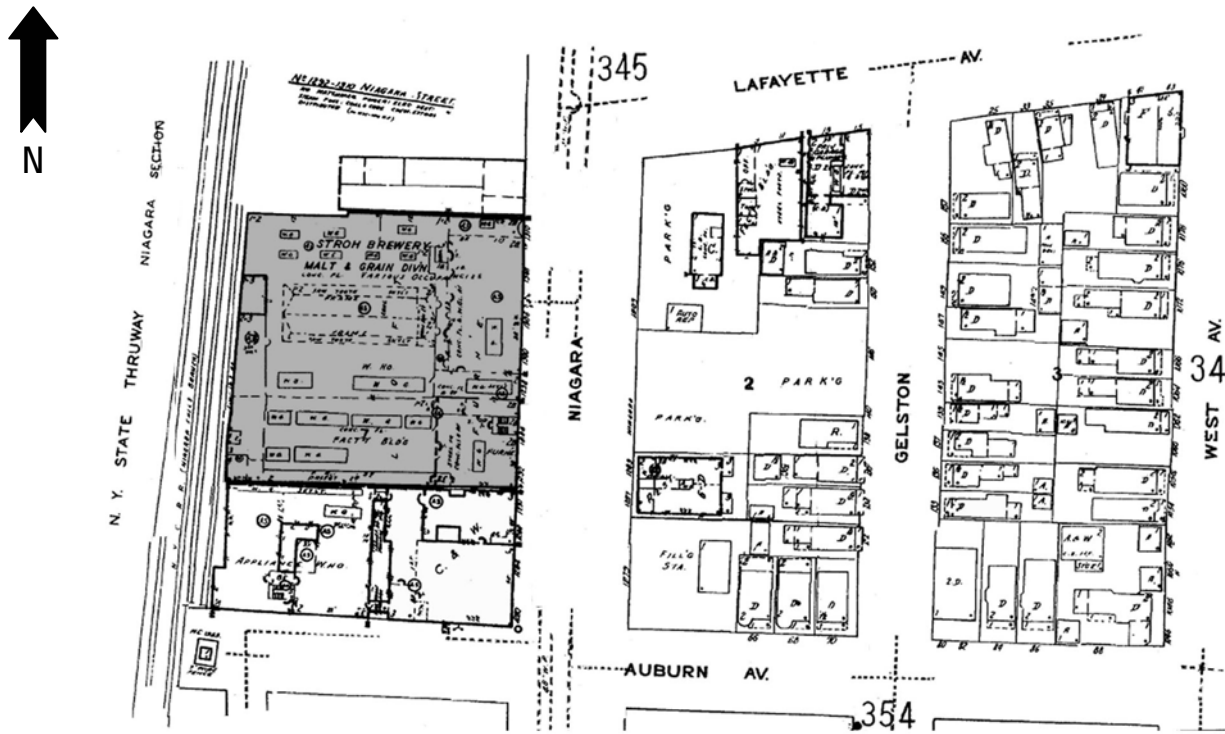
The building at 1300 Niagara Street is set on a large slightly elled lot, located on the west side of the street on the block between Auburn Avenue and Brace Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far west central section of the Grant-Ferry-Forest neighborhood.

A large, two-story, flat roofed, early twentieth century, urban, brick, office and factory building. It has a regular rectangular plan. The façade is defined by large paired fixed windows with transoms, spaced by pilasters. The main entrance sets in a recessed niche off center to the south; secondary entrances in similar niches to either side and two additional entrances in the far north bay. Unique window grouping over the main entrance; the remainder of the second floor façade is defined large fixed triple window groups with transoms. Small parapet at the front roofline with accent extensions at the pilasters. Additional detailing includes frieze detail at cornice, window sills, and contrasting stone accents on the lower portions of the pilasters.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1300 Niagara Street is significant as a good representative example of a large, architect designed, two-story, flat roofed, early twentieth century, urban, brick, office and factory building. Built as the factory of the Sowers Manufacturing Co. The company was founded in 1910, and continued to operate at this site until 1942. Founder David W. Sowers claimed that this plant was the first to produce pure oxygen. The original structures were extended to the south in 1920. Later occupied by the Stroh Brewery.

MAP: Sanborn Map (Revised 1986) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1314-1324 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1909-1920

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: office enlarged in 1954 Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☐ fair ☒ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 1314-1312 Niagara Street is set on a large square lot, located on the west side of the street on the block between Auburn Avenue and Brace Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far west central section of the Grant-Ferry-Forest neighborhood.

An early twentieth century, urban, brick and reinforced concrete, office and factory building complex. Multiple components arranged in an irregular plan - a varied conglomerate of main structures and additions ranging in size, shape, level of styling and deterioration. Remaining main façade has large fixed triple grouped windows with transom; lower windows boarded. The main office entrance centered on the facade is a rare local example of Art Nouveau design. Loading bay with upper windowing in the lower north bay.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1314-1324 Niagara Street is significant as a representative example of a deteriorated remaining, early twentieth century, urban, brick and reinforced concrete, office and factory building complex of architect design. Built for the George J. Meyer Malting Co., which was founded in 1906. (Meyer had previously worked for the Curtiss Malting Co. at 1100 Niagara St.) The facility was doubled in size with a reinforced concrete addition to the north in 1913. The front office was enlarged in 1954. The complex was later occupied by the Stroh Brewery.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-26)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1400 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Commercial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1886; 1938

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

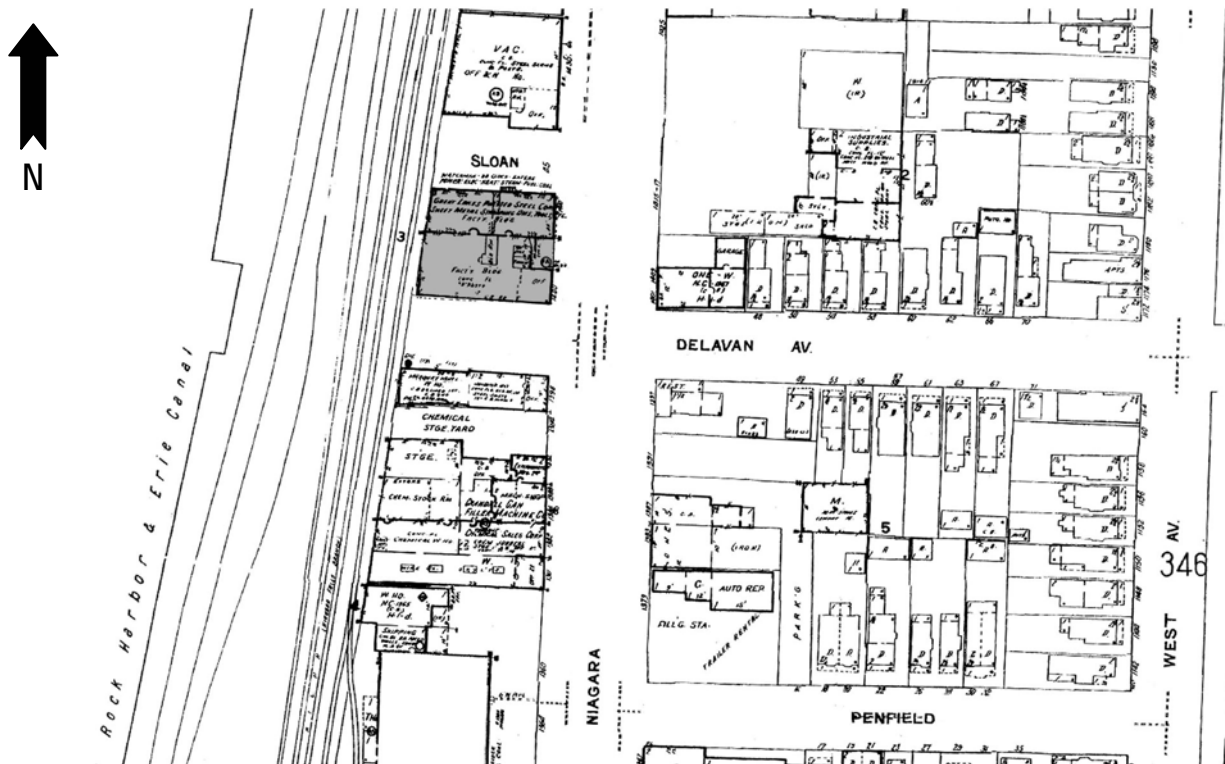
The building at 1400 Niagara Street is set on a slightly trapezoidal lot, located on the west side of the street between West Delevan Avenue and Sloan Street. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far west central section of the Grant-Ferry-Forest neighborhood.

A late nineteenth and early-mid twentieth century, urban, brick, office and factory building complex. It has a combined rectangular plan. The majority of the original three-story, flat roofed section's façade is covered over. An entrance is located in the far north bay. The upper façade is defined by regular even spaced single windowing with subtly arched openings. Similar windowing on the side elevations. One-story, flat roofed building to the south. The main entrance is located centrally with paired windows in either side bay. Small parapet at the front roofline. Double windowing, additional entrance, and loading bay on the south elevation.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1400 Niagara Street is significant as a good representative example of a late nineteenth and early-mid twentieth century, urban, brick, office and factory building complex. The three-story section of this complex was built as a factory for the King Spring Co., makers of carriage springs, which was established in 1886. Later occupied by the Frontier Rubber Co. The one-story buildings to the south were added in 1938 for the Great Lakes Pressed Steel Co.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-33)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1469 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential/Commercial Current use Residential/Commercial

Architect/Builder, if known Edward F. Pickett Date of construction, if known 1900

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

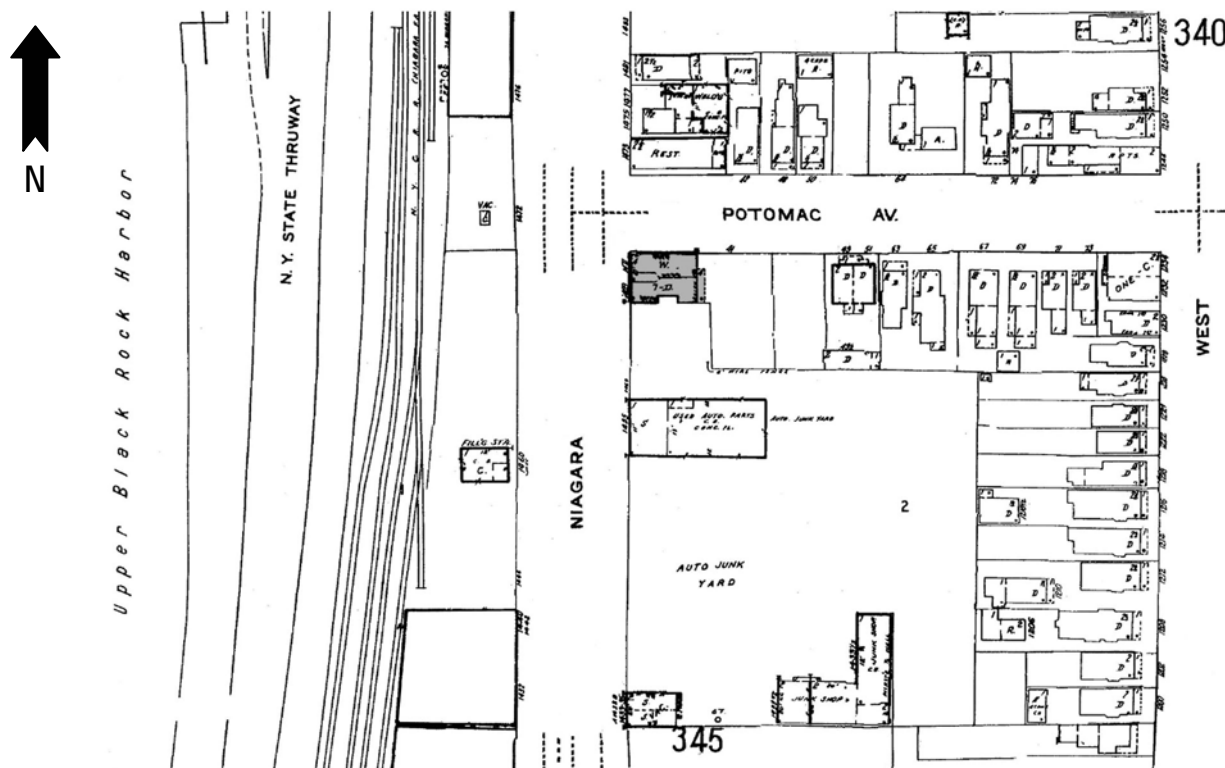
The building at 1469 Niagara Street is set on a short corner lot, located on the east side of the street at the north end of the block between West Delevan Avenue and Potomac Avenue. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far west central section of the Grant-Ferry-Forest neighborhood.

A four-story, modestly styled, brick, store and tenement building. It has a rough rectangular plan. The north bay is dominated by a storefront with entrance at the forward cut corner. Recessed entrance in the south bay; single windows set to the south of the entrance in the far south bay. The upper façade is distinguished by three-story polygonal oriels at the forward corners, with triple windowing and decorative wood paneling. Central portion of the façade defined by simple single windowing with accent sills and lintels. Similar windowing on the side elevations. Three-story polygonal oriel toward the rear on the south elevation above an additional entrance. Cornice and detailing frieze band. Exterior fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1469 Niagara Street is significant as a good representative example of a four-story, modestly styled, brick, store and tenement building of architect design. Built for Evelina M. Spanner.

MAP: Sanborn Map (Revised 1986) – Plate 339



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-11)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1491 Niagara Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Industrial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1887

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: fourth story added in 1904 Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

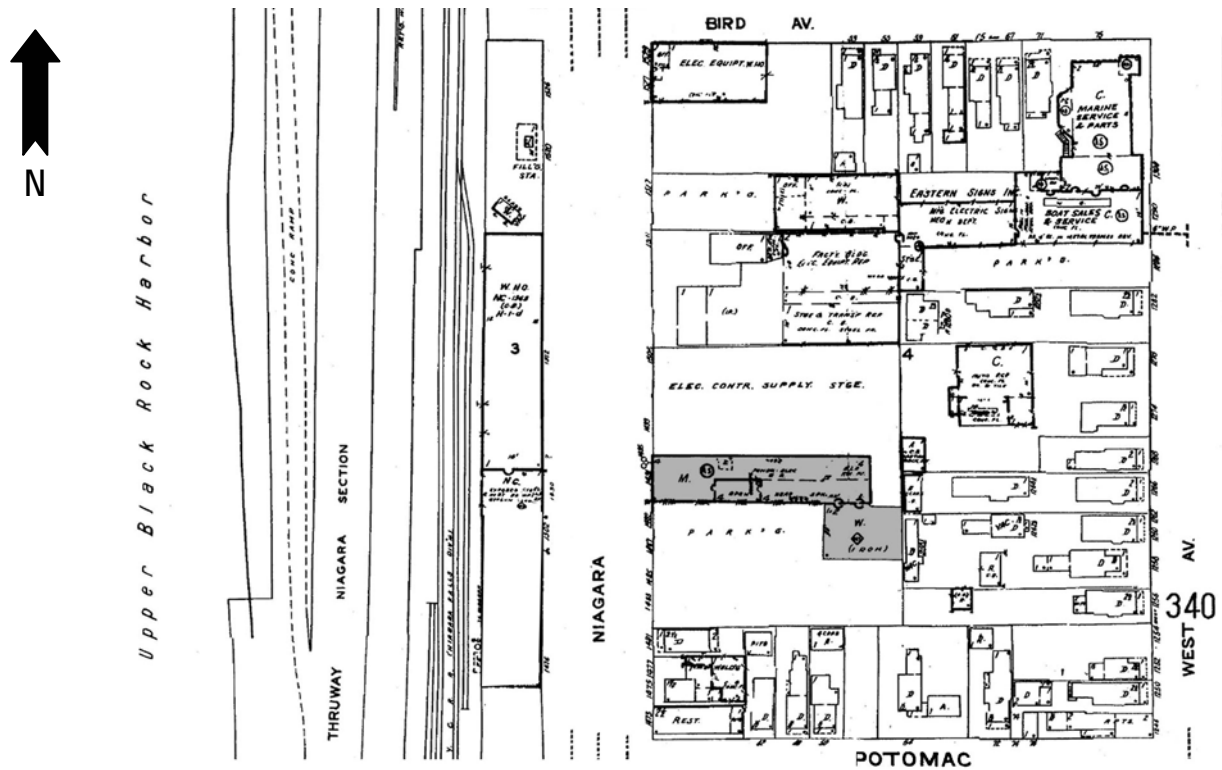
The building at 1491 Niagara Street is set on a short corner lot, located on the east side of the street at the north end of the block between West Delevan Avenue and Potomac Avenue. Niagara Street is a longstanding thoroughfare in the far west of the neighborhood along the river. Already laid out in 1809, Broadway as it was originally called, connected Buffalo with Niagara Falls. Though currently dominated by aging industrial and commercial properties, Niagara was once a residential street with a number of fine dwellings - Buffalo's first Delaware Avenue. The transformation of Niagara Street from residential to industrial began in the 1880s and 1890s. The property is located in the far west central section of the Grant-Ferry-Forest neighborhood.

A late nineteenth century, four-story, flat roofed, modestly styled, brick, industrial building. It has an elled plan with a regular rectangular main block and additional two-story structure at the rear south corner. Entrance in the far south bay of the first floor façade, reached by a small railed entry stair. Additional entrance and two arched single windows(all boarded) occupy the remainder of the lower façade. The upper façade is defined by tiered even spaced single windowing with subtle arched openings. Side elevations have a similar windowing pattern.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1491 Niagara Street is significant as a good representative example of a late nineteenth century, four-story, flat roofed, modestly styled, brick, industrial building. Built for the Aldrich & Ray Manufacturing Co., which produced tin and copper goods and soda fountains. Originally constructed as a three-story building, a fourth story was added in 1904.

MAP: Sanborn Map (Revised 1986) – Plate 339



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-34)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 407 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 407 Norwood Avenue is set on a small lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

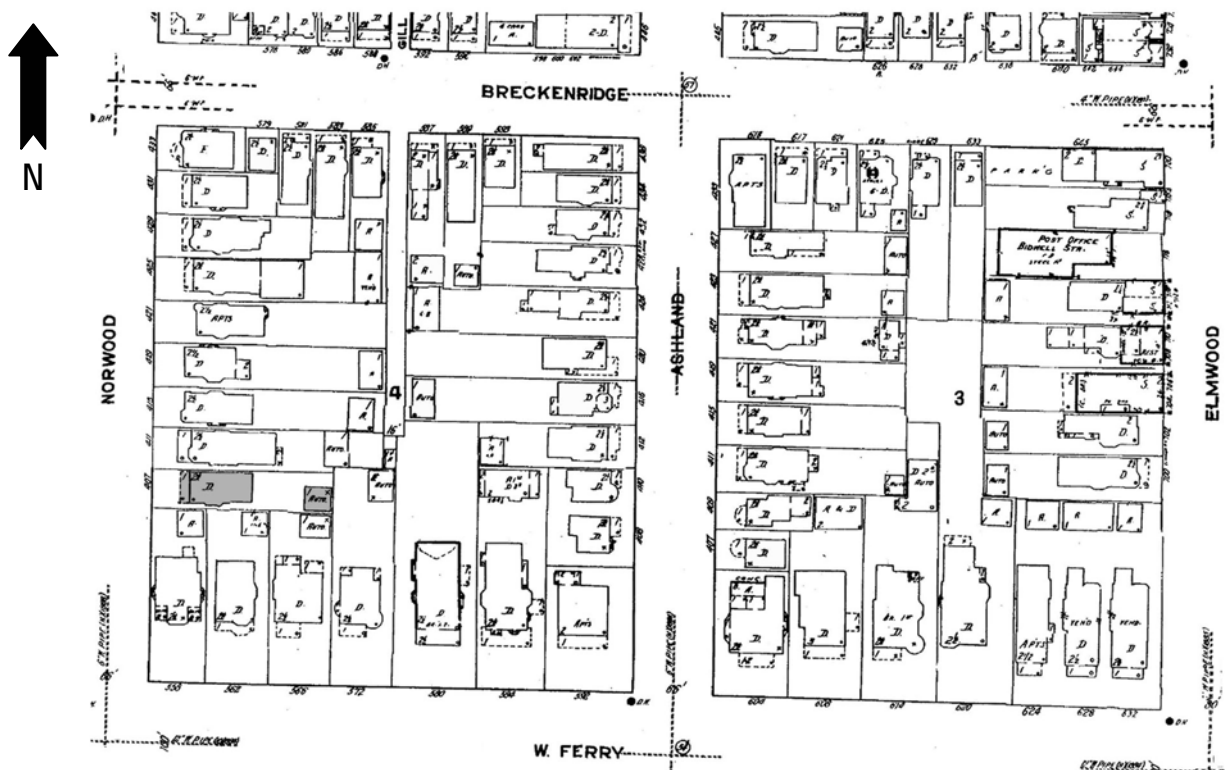
A two-and-one-half story, side gabled, urban residence with modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof enclosed brick living porch. The main entrance is located in a ¼-width recessed entry porch in the far north bay of the main porch. A large shuttered window with awning sets centered on the remainder of the lower façade. The second floor façade has a flat roofed enclosed porch with continuous multi-pane casement windowing spaced by half-height pilasters. A flared hipped roof dormer accented by a window group sets centered on the front roof slope. Two-plus story, slightly projecting polygonal bay with gabled roof visible on the south elevation contained within the main side gable. Brick chimney visible at the south edge of the rear slope. Exterior fabric is wood clapboard and brick. Fenestration is one-over-one double hung wood sash, casement, and fixed. Detailing includes modest trim and framing.

A garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 407 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban residence with modest mixed period styling. Such modestly styled single-family dwellings were typical of middle class, urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-13)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 411 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 411 Norwood Avenue is set on a standard lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

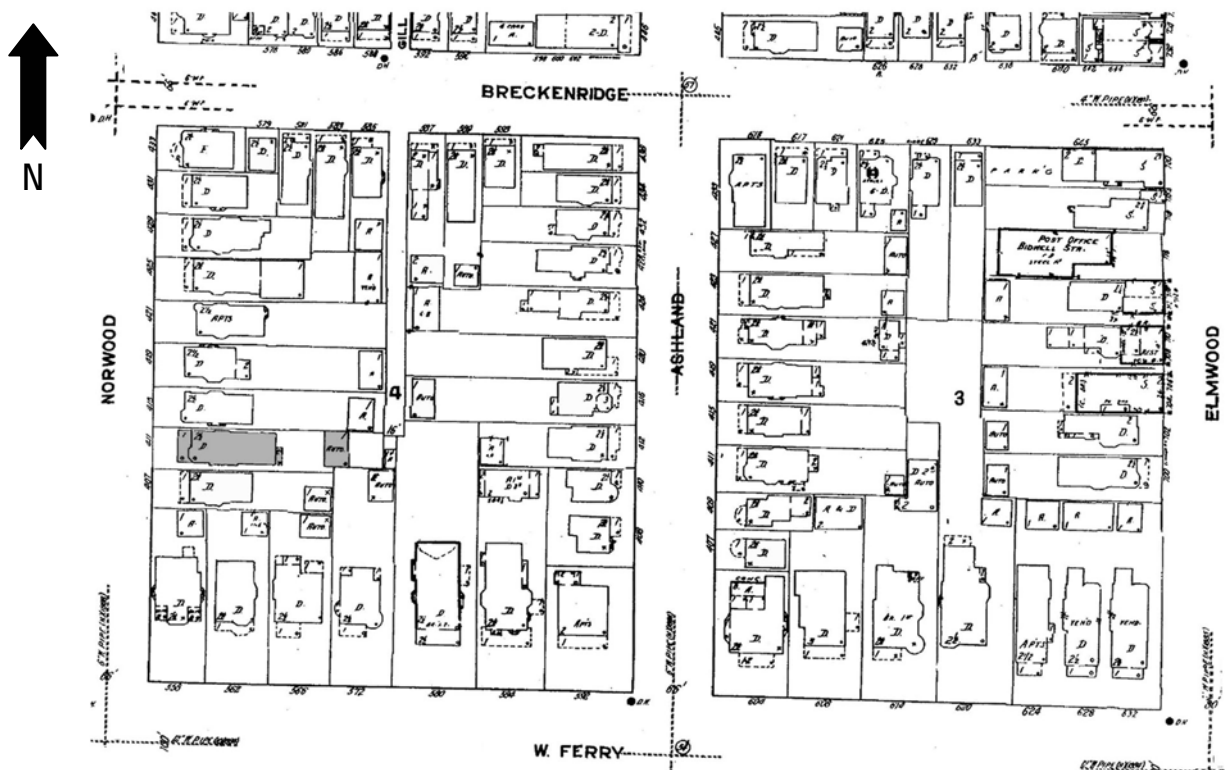
A two-and-one-half story, side and lower cross gabled, urban residence of mixed Colonial inspired period styling. It has a rectangular plan and is set on a stone and brick foundation. The façade has a full-width enclosed brick living porch with continuous paired windowing with transoms, patterned brick piers and pilasters, and a moderate frieze with molding. The main entrance is located in a ¼-width recessed entry porch in the far north bay of the main porch. The second floor façade has an open porch with spindled wood rail with paired half-height wood posts, French doors entrance in the north bay, and in the south bay a polygonal oriel with triple windowing flush beneath the projecting lower front gable. Lower gable end accented by a quartet window grouping with surround and patterned peak. A small gabled dormer sets to the north on the front roof slope. Two-plus story, slightly projecting bay with gabled roof visible on the north elevation contained within the main side gable. Brick chimney visible at the south edge of the rear slope. Exterior fabric is wood clapboard and brick. Fenestration is one-over-one double hung wood sash, casement, and fixed. Detailing includes a wide frieze and cornice with ornament, simple corner boards, belt course, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 411 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side and lower cross gabled, urban residence of mixed Colonial inspired period styling. Such moderately styled single-family dwellings were typical of middle class and more modest upper class, urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. Built for George C. Bingham. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 412 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 412 Norwood Avenue is set on a standard lot, located on the west side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

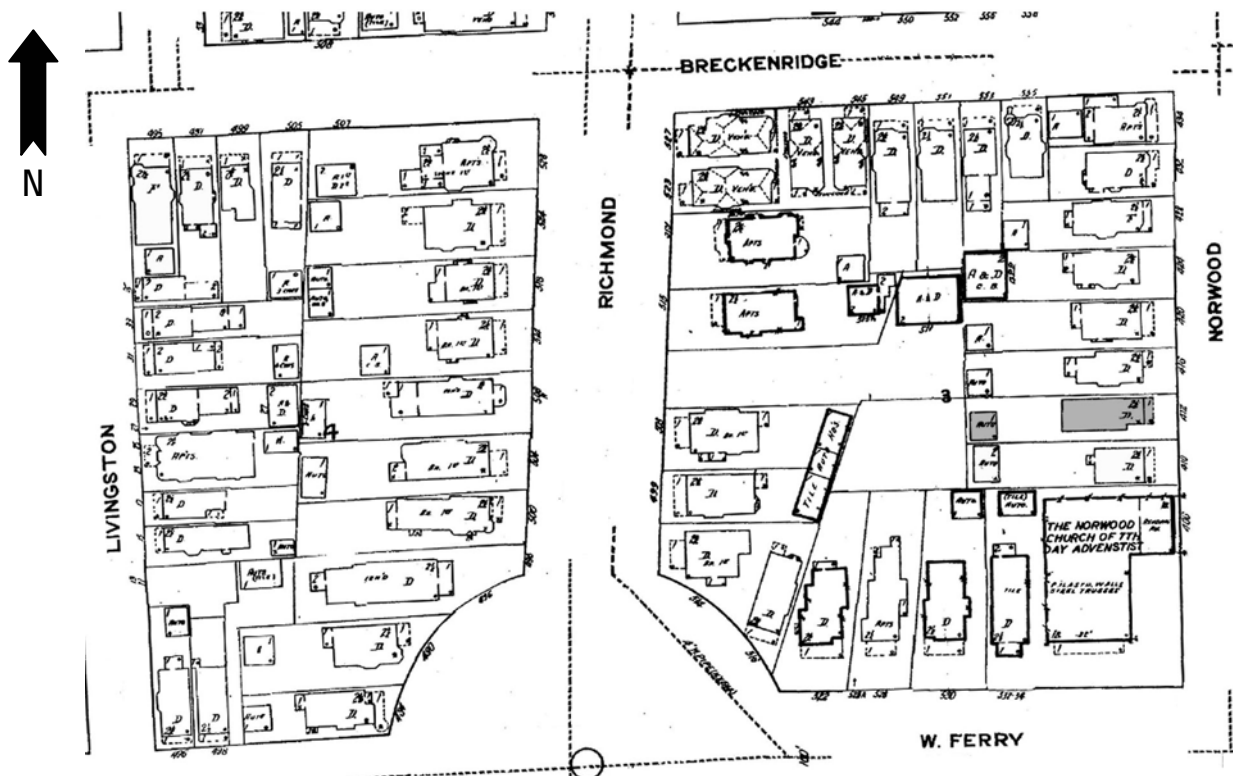
A two-and-one-half story, substantially cross gabled, urban, frame residence of modest mixed Queen Anne style. It has a slightly ell, though largely rectangular plan and is set on a stone and brick foundation. The façade has a full-width porch with capped patterned brick piers and solid brick rail that continues to the ground, pilasters, wide frieze, hipped overhang, and an entry stair to the north. The main entrance is located centrally on the façade, under the porch. Single windows accent the remainder of the lower façade porch. The second floor façade has an open porch with an open wood rail with half-height wood posts, a central porch entrance, and elongated single windows in either side bay. An open pent with brackets closes the single window accented front gable end. Side cross gable on the south; rear of the elevation flush with the gabled extension. Small gabled dormer visible on the south roof slope to the rear of the cross gable. Several brick chimneys visible. Exterior fabric is wood clapboard and brick. Fenestration is primarily one-over-one double hung wood sash. Detailing includes simple corner boards, trim, and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 412 Norwood Avenue is significant as a good representative example of a two-and-one-half story, substantially cross gabled, urban, frame residence of modest mixed Queen Anne style. Such modestly styled single-family dwellings were typical of middle class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-10)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 415 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Roberts & White Date of construction, if known 1893

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 415 Norwood Avenue is set on a standard lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

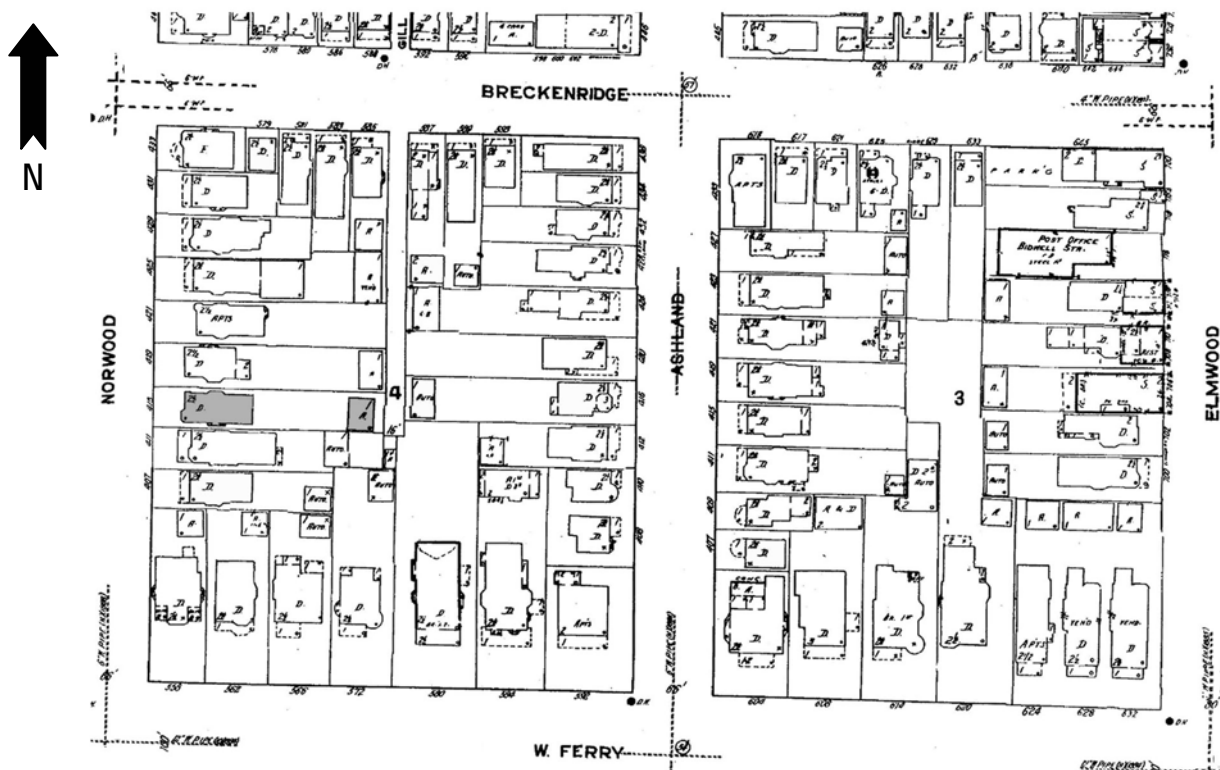
**NON-CONTRIBUTING**

A two-and-one-half story, hipped and cross gabled, urban, frame residence of modest mixed Queen Anne style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 415 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics to vinyl siding. An architect designed residence built for William A. Gardner.

MAP: Sanborn Map (Revised 1886) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-11)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 416 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William W. Carlin Date of construction, if known 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 416 Norwood Avenue is set on a standard lot, located on the west side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

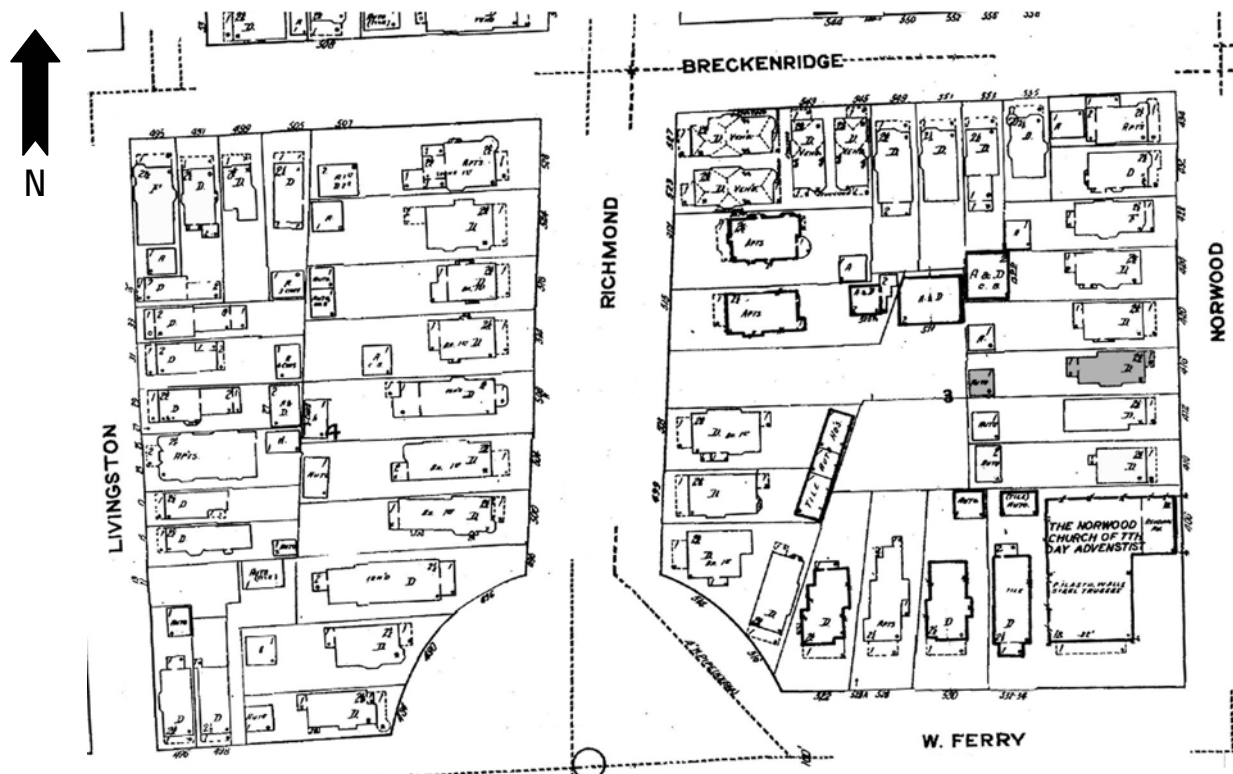
A two-and-one-half story, cross gabled, urban, frame residence of simple period styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch – southern 3/4s is an enclosed living space defined by multiple window groupings. The main entrance is located in the north bay of the façade, under the ¼-width open entry porch. A small window sets to the north of the entrance, under the porch in the far side bay. The second floor façade has an open porch with modern metal rail, a porch entrance to the south, and two single windows spaced in the remainder. A small paired window accents the front gable end. Side cross gable on the south with lower projecting bay. Brick chimney visible at the ridge on the cross gable. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash. Detailing includes belt course with flair and simple trim and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 416 Norwood Avenue is significant as a good representative example of an architect designed, two-and-one-half story, cross gabled, urban, frame residence of simple period styling. Such modestly styled single-family dwellings were typical of middle class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. Built for George J. Herlan. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-10)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 419 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 419 Norwood Avenue is set on a standard lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

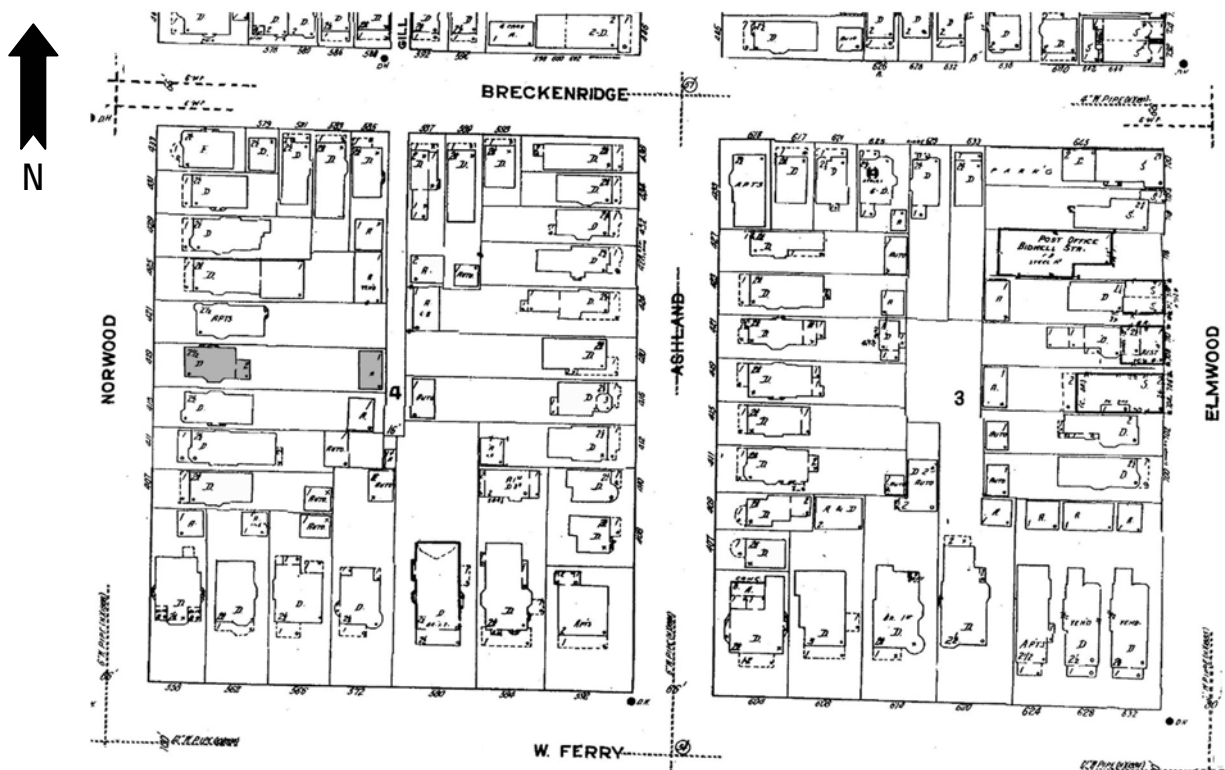
A two-and-one-half story, front gabled, urban, frame residence of simple Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The modestly framed and side lighted main entrance is located in the north bay of the façade, under a ¼-width awninged entry porch with stair. A small window sets directly to the south of the entrance; two closely set single windows occupy the south bay. The second floor façade is defined by simple single windowing. A triple window group accents the pent enclosed gable end. A two-plus story, projecting polygonal bay dominates the south elevation, continuing along the height of the residence through the roofline to adjoin with the main ridge. Exterior fabric is wood clapboard. Fenestration is one-over-one, six-over-one, and six-over-six double hung wood sash and fixed. Detailing includes simple corner boards, belt course, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 419 Norwood Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of simple Queen Anne styling. Less styled than many, such modestly styled single-family dwellings were typical of middle class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 420 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Rudolph M. Gram Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 420 Norwood Avenue is set on a standard lot, located on the west side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

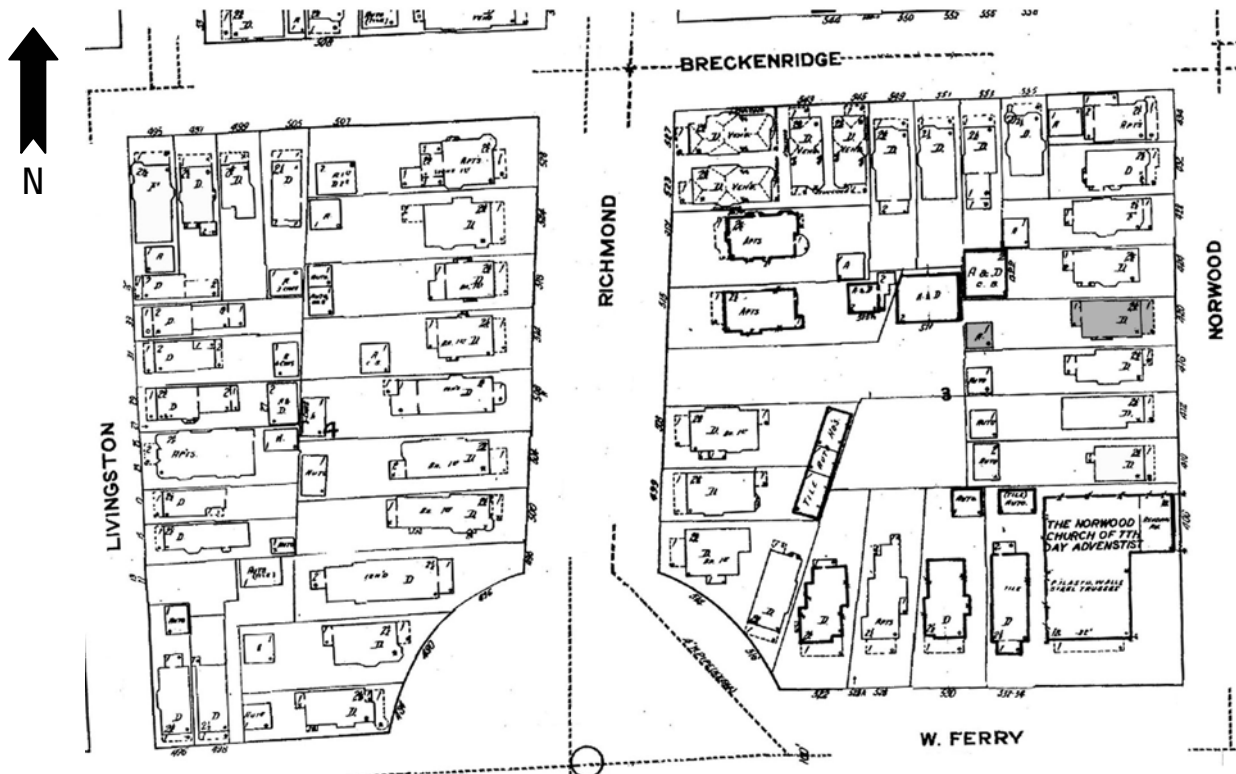
A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width flat roofed porch with metal rail and supports, modest ornamented frieze, and an entry stair to the north. The main entrance is located on the façade, off center to the north. A single window sets in the far north bay. A window group occupies the south bay. The second floor façade has a small rectangular oriel in the south bay and a larger curved oriel in the north, both with window accents. The pent enclosed gable end is accented by a large Palladian window with surround. Lower side cross gable on the north roof slope. Exterior brick chimney visible to the front on the north elevation. Exterior fabric is wood clapboard. Fenestration is one-over-one double hung wood sash and fixed, with transoms and multi-paning; large arched window group on the north elevation. Detailing includes notable frieze with ornamentation, corner pilasters, trim, and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 420 Norwood Avenue is significant as a good representative example of an architect designed, two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne styling. Such modestly styled single-family dwellings were typical of middle class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, those with Queen Anne influence were most common. Built for John C. Grezinger. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-12)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 421 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

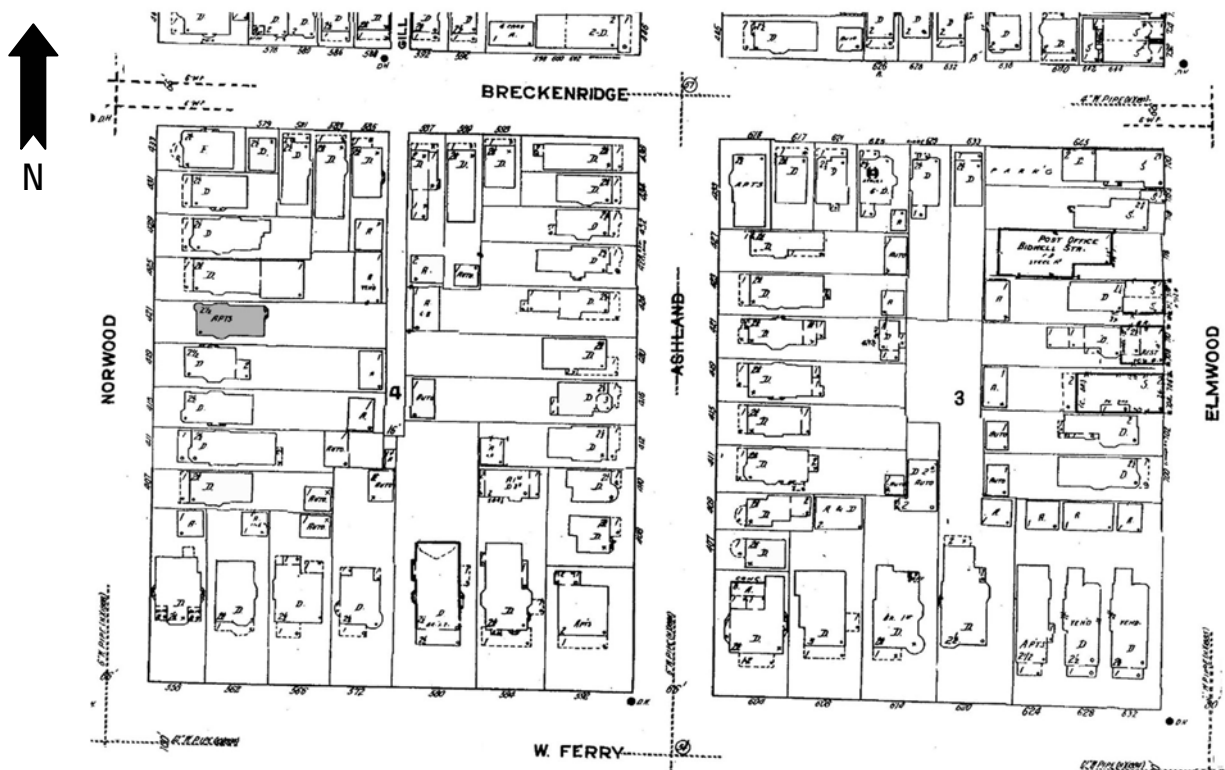
The multiple-family house at 421 Norwood Avenue is set on a standard lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with mixed period, Colonial influenced design and Queen Anne styling. It has a roughly rectangular plan and is set on a stone foundation. The façade has a 3/4-width flat roofed porch with slender paired column supports, modest frieze, and small stair to the north. The main entrance is located on the façade, off center to the north. A large triple window group occupies the south bay. A two-and-one-half story polygonal tower with tiered triple windowing dominates the far north bay of the façade. The second floor façade has a curved oriel in the south bay that continues through the roofline, extending into a hipped roof dormer with rafter tails and small window accent. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash. Detailing includes simple belt course, corner boards, framing, and frieze.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 421 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with mixed period, Colonial influenced design and Queen Anne styling. Such moderately styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 424 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 424 Norwood Avenue is set on a standard lot, located on the west side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

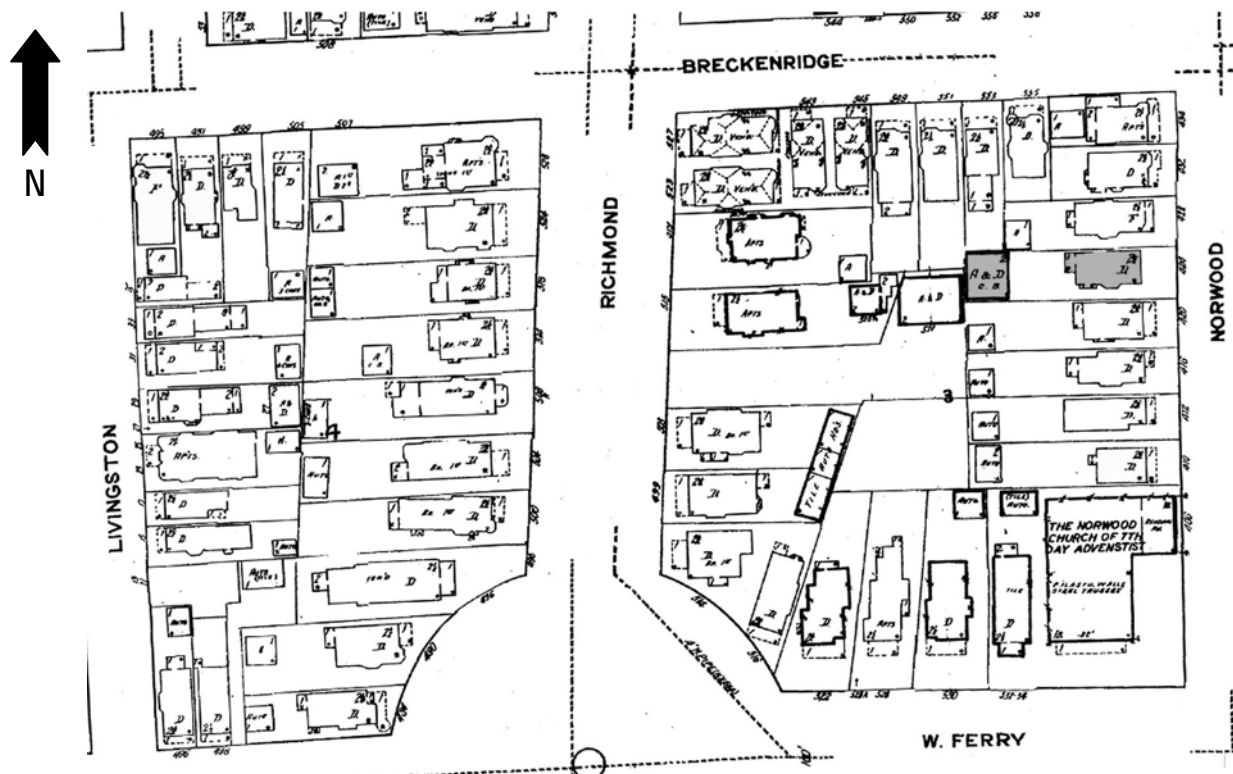
A two-and-one-half story, cross gabled, urban, frame, vernacular residence of Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a half-width shed roof porch to the north, with slender square column supports, spindled wood rail, simple frieze and cornice, modest pediment, and a small entry stair. The main entrance is located in the north bay of the façade, under the porch. A single window sets to the north of the entrance, under the porch in the far side bay. A large single window sets centered in the south bay. The second floor façade has a large single window in the north bay above the porch and a curved oriel with windowing and brackets in the south. A triple window group accents the pent enclosed front gable end; decorative work in the closed peak. Side cross gable on the south roof with lower projecting, polygonal bay; additional first story roofed oriel further to the rear. Brick chimney visible at the ridge. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash. Detailing includes simple corner boards, trim, and framing with lookouts.

A large garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 424 Norwood Avenue is significant as a good representative example of two-and-one-half story, cross gabled, urban, frame, vernacular residence of Queen Anne style. A modest Queen Anne styled design common amongst single and double, family residences of the era in the Grant-Ferry-Forest neighborhood. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-13)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 428 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 428 Norwood Avenue is set on a shortened lot, located on the west side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

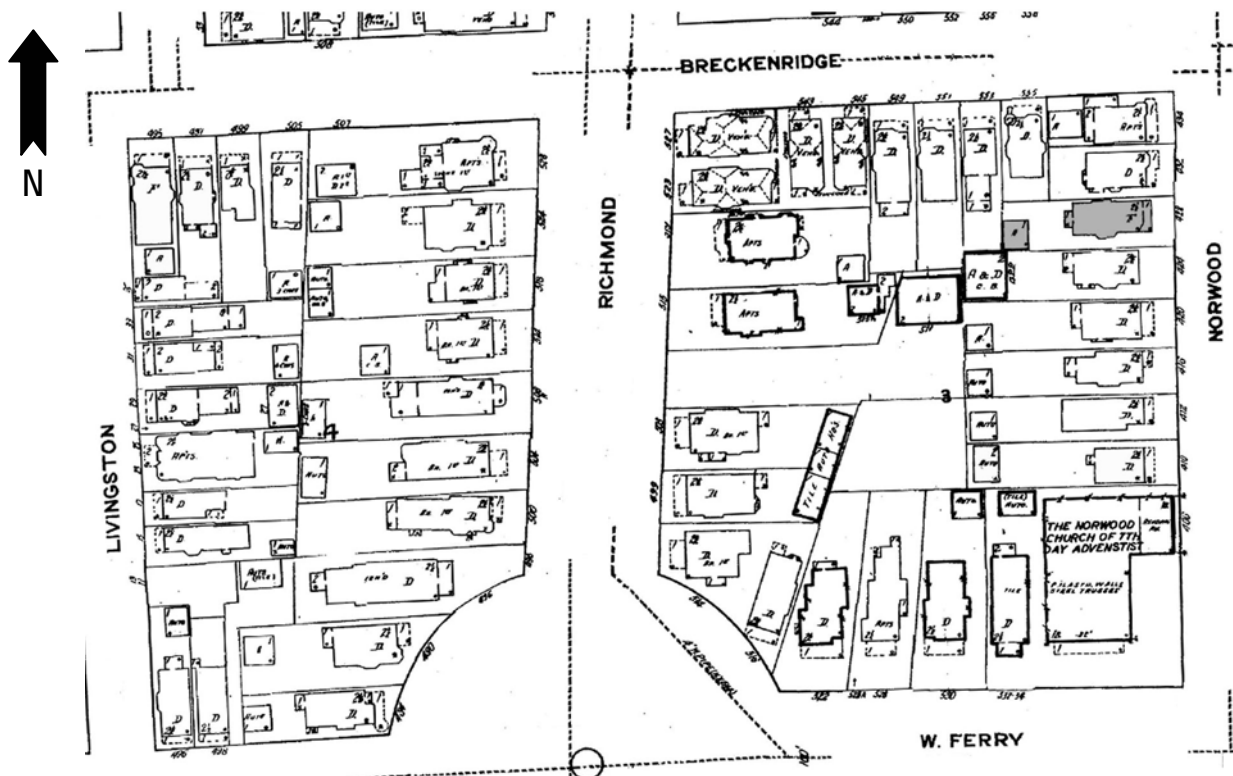
A two-and-one-half story, side gabled, urban, frame residence with mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width enclosed stone living porch with multiple ribboned window groupings with transoms, modest frieze and cornice. The large main entrance with sidelights and elaborate transom is located in the far north bay of the main façade porch. The second floor façade has an open porch with metal rail, a polygonal bay in the south bay, and a porch entrance in the south. A large shed roof dormer with shuttered quartet window group accent dominates the front roof slope. Two-plus story, slightly projecting bay with gabled roof visible on the north elevation contained within the main side gable. Window accents in the side gable ends. Exterior fabric is wood clapboard and stone. Fenestration is one-over-one double hung wood sash, casement, and fixed. Detailing includes modest corner boards, flared belt course, frieze with lookouts and framing.

A large garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 428 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side and lower cross gabled, urban, frame residence with mixed period styling. Such moderately styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-14)







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USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 429 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

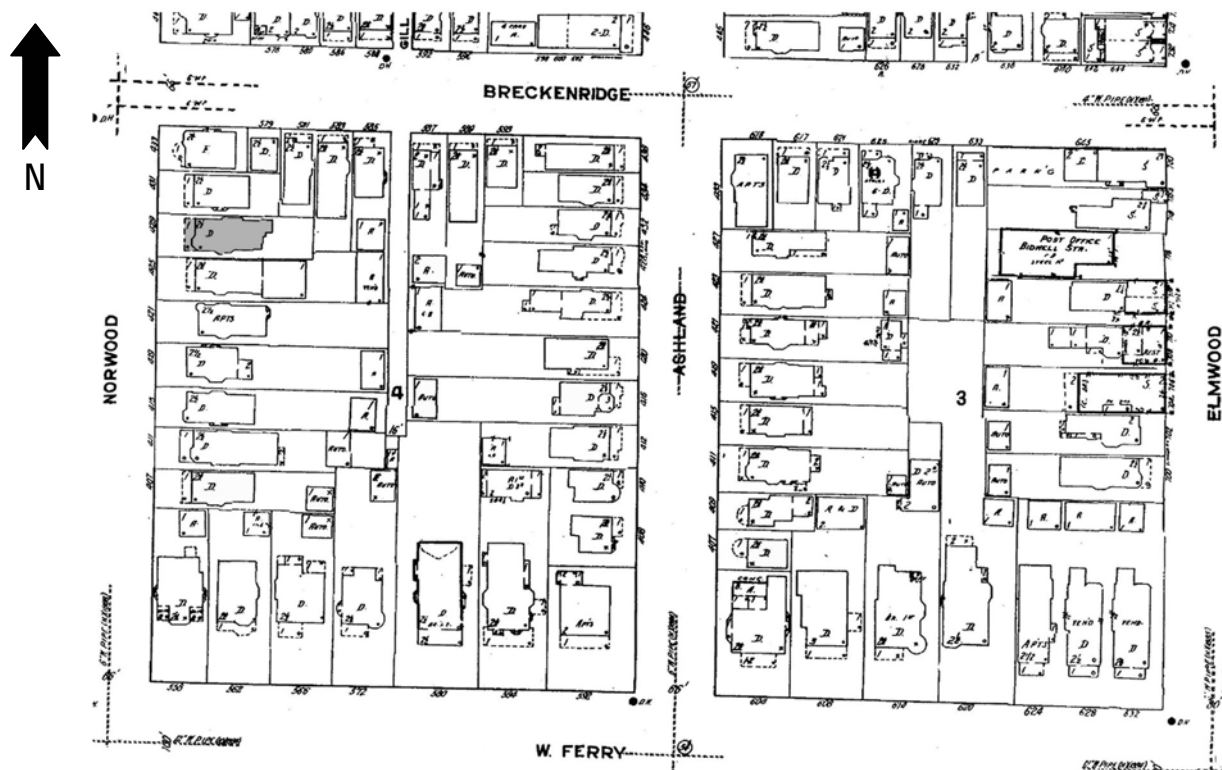
The single-family house at 429 Norwood Avenue is set on a shortened lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with mixed period design and high styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width open porch with rough stone elephantine piers and base, patterned open wood rail, modest frieze, and entry stair. The framed main entrance is located in the north bay of the façade. A single window sets to the north of the entrance in the far side bay. The south bay is dominated and defined by a two-and-one-half story engaged polygonal tower that extends through the porch roof, as well as the upper roofline. The second floor façade has an open porch with metal rail and a porch entrance in the north. A small hipped roof dormer with multi-paned window accent sets to the north on the front roof slope. Two-plus story, slightly projecting bay with gabled roof visible on the north elevation contained within the main side gable. Window accents in the side gable ends. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash. Detailing includes modest corner boards, flared belt course, frieze with lookouts and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 429 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with mixed period design and high styling. Such moderately styled family dwellings were typical of middle to upper class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-7)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 431 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

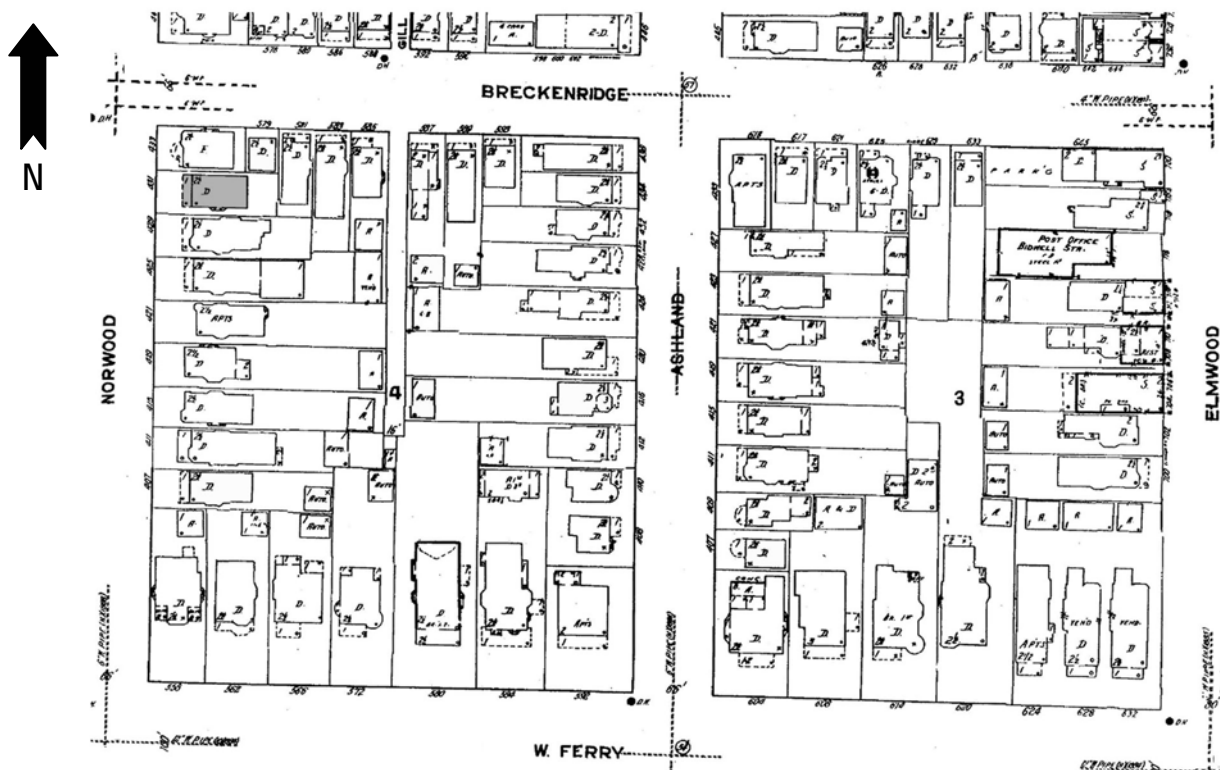
The single-family house at 431 Norwood Avenue is set on a shortened lot, located on the east side of the street between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence of Colonial influenced design and modest mixed period styling. It has a regular rectangular plan and is set on a stone foundation. The main entrance is located in the north bay of the façade, reached by a small metal railed entry porch and stair. A single window with transom sets to the north of the entrance in the far side bay. A large single window sets centered in the south bay. The second floor façade has a corresponding large single window in the south and a polygonal oriel in the north bay. A hipped roof dormer accented by a recessed paired window with colonettes sets centered on the front roof slope. Window accents in the closed side gable ends. Small first story roofed bay visible on the south elevation. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash. Detailing includes modest corner boards, lookouts, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 431 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of Colonial influenced design and modest mixed period styling. Less styled than some, such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those with Queen Anne influence were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-6)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 432 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 432 Norwood Avenue is set on a shortened lot, located on the west side of the street at the north end of the block between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

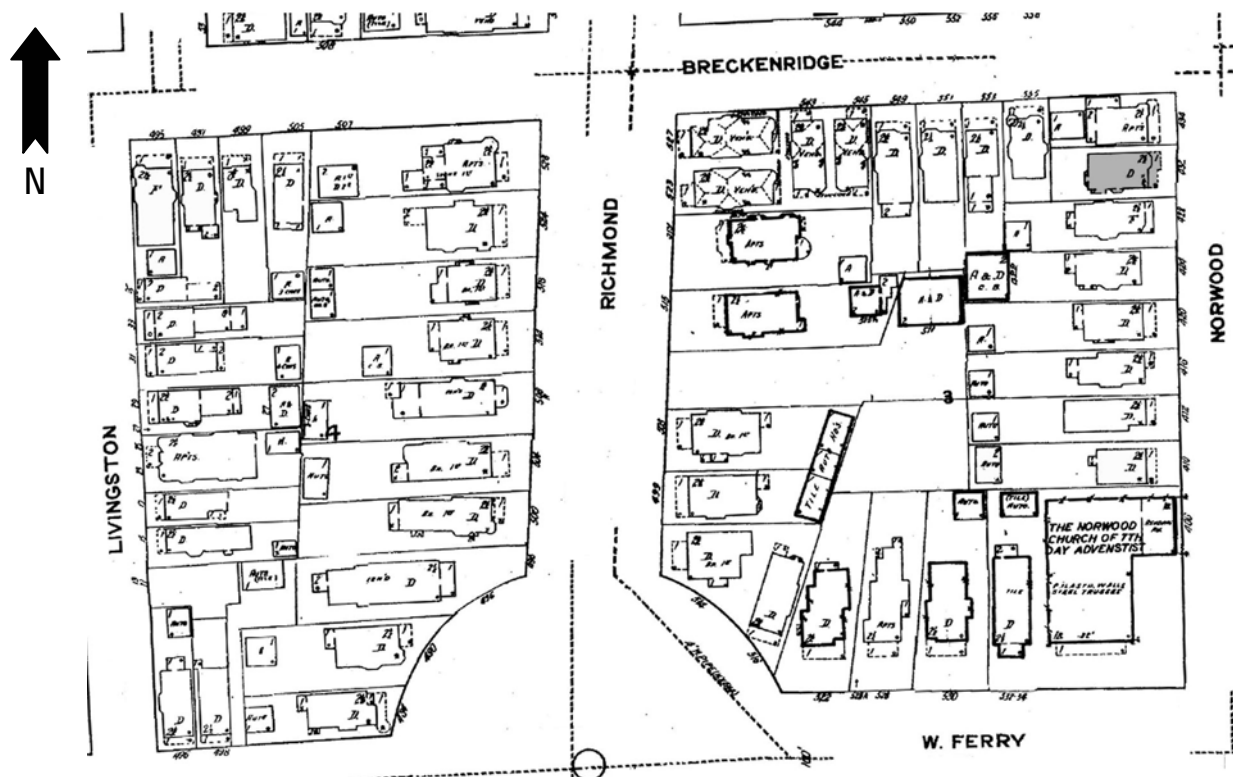
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 432 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-15)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 433 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 433 Norwood Avenue is set on a shortened corner lot, located on the east side of the street at the north end of the block between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

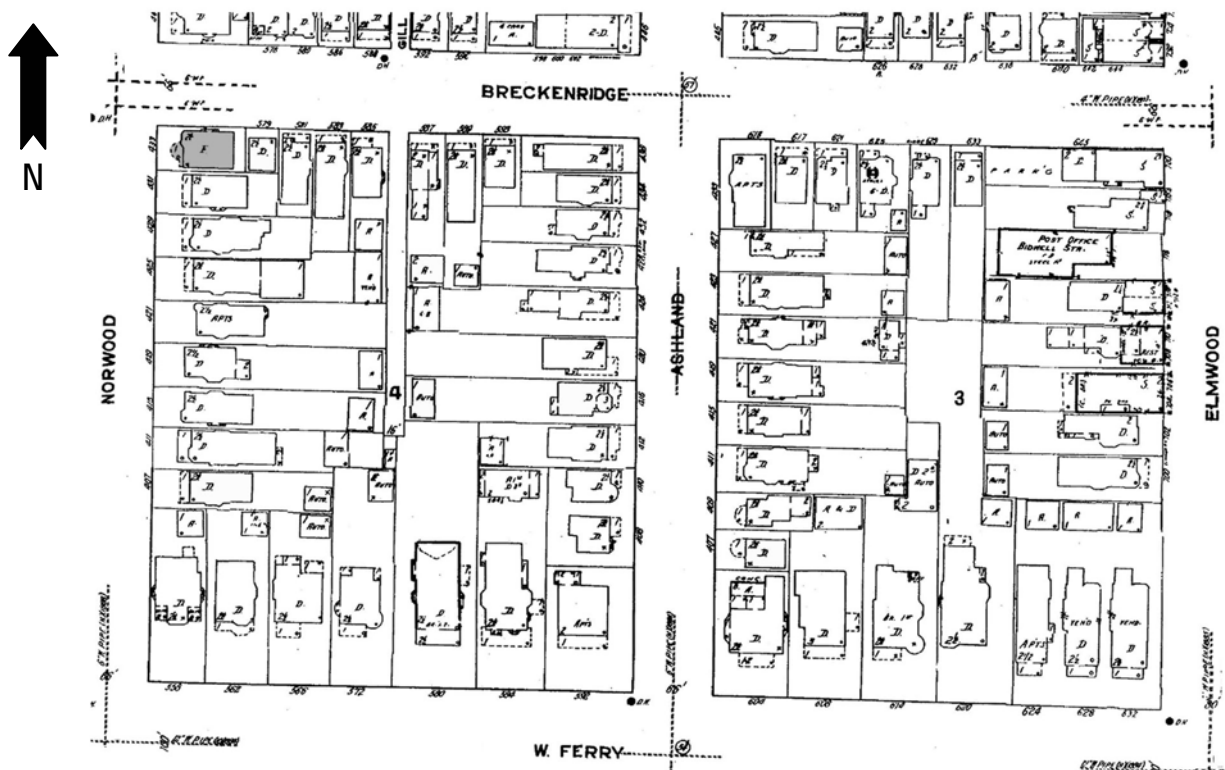
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of mixed period, Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 433 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-5)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 434 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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The multiple-family house at 434 Norwood Avenue is set on a shortened corner lot, located on the west side of the street at the north end of the block between West Ferry Avenue and Breckenridge Street. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

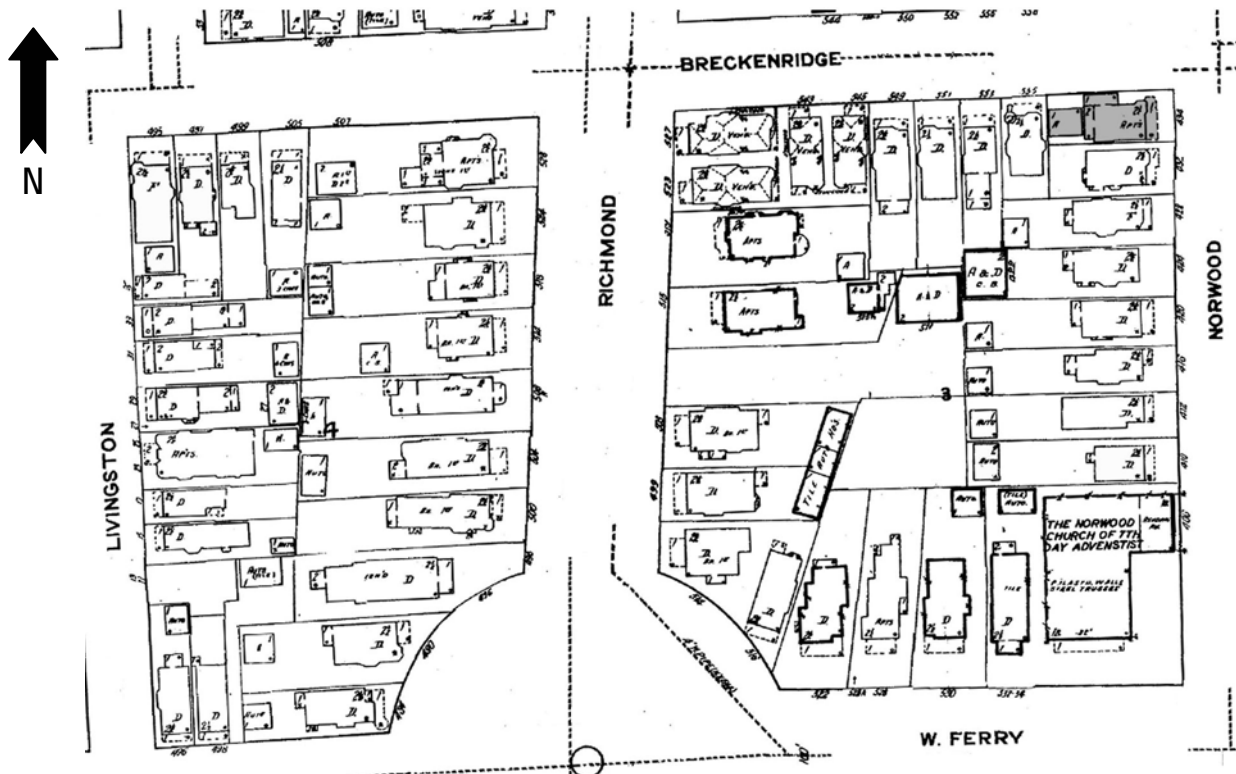
A two-and-one-half story, side gabled, urban residence of Colonial influenced design and mixed period styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with half-height slender paired columns set on square clapboard covered posts that continue down over the foundation, spindled wood rail, simple frieze and cornice, and a slightly projecting pediment over the railed entry stair to the south. The main entrance is located on the façade, off center to the south with window grouping set to either side. The second floor façade has a large window in the south bay. The far north bay is defined by a two-and-one-half story engaged polygonal tower that extends through the porch roof, as well as the upper roofline. A small flared hipped roof dormer with window accent sets centered on the front roof slope. Closed side gable ends accented with windowing. Façade porch wraps around the north corner of the building to continue part way down the north elevation; projecting bay further to the rear. Brick chimney visible at the south edge of the forward slope. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash. Detailing includes simple corner boards and framing.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 434 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of Colonial influenced design and mixed period styling. Less styled than some, such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those with Queen Anne influence were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-16)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 444 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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PLEASE PROVIDE THE FOLLOWING INFORMATION

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 444 Norwood Avenue is set on a shortened corner lot, located on the west side of the street at the south end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

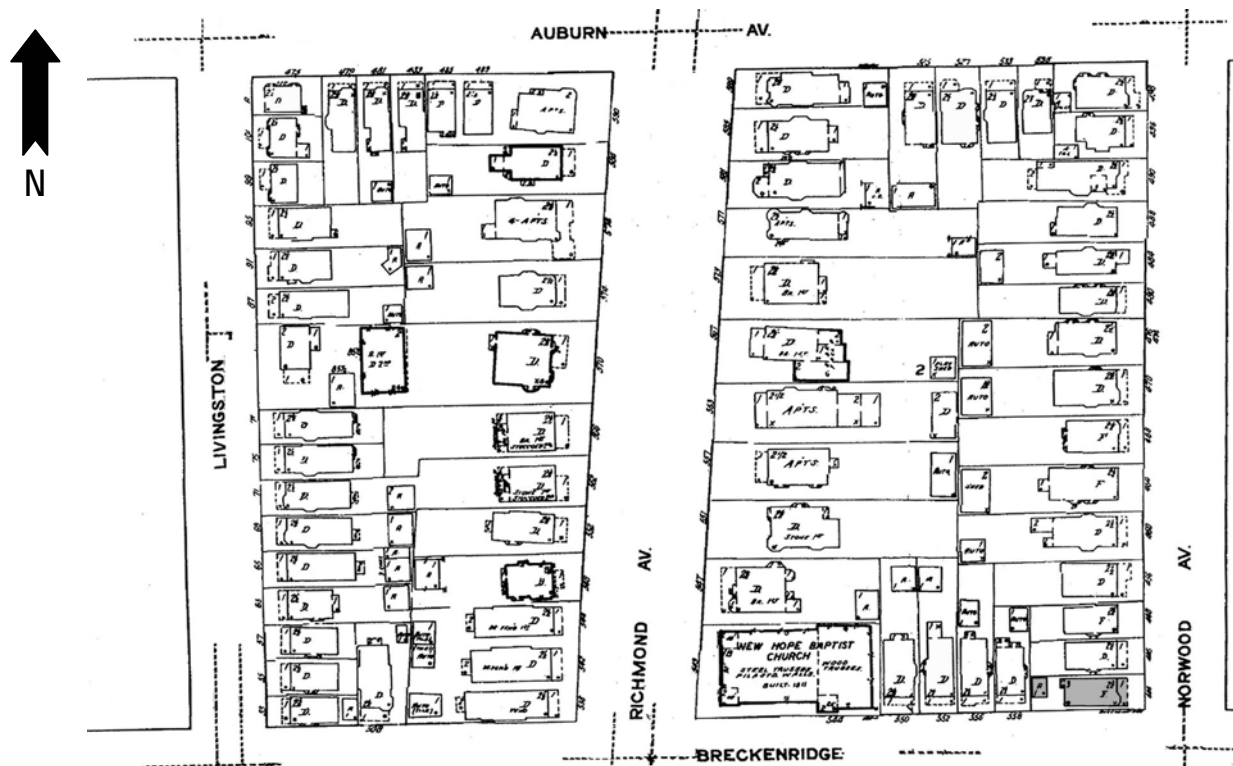
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 444 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 446 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 446 Norwood Avenue is set on a shortened lot, located on the west side of the street at the south end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

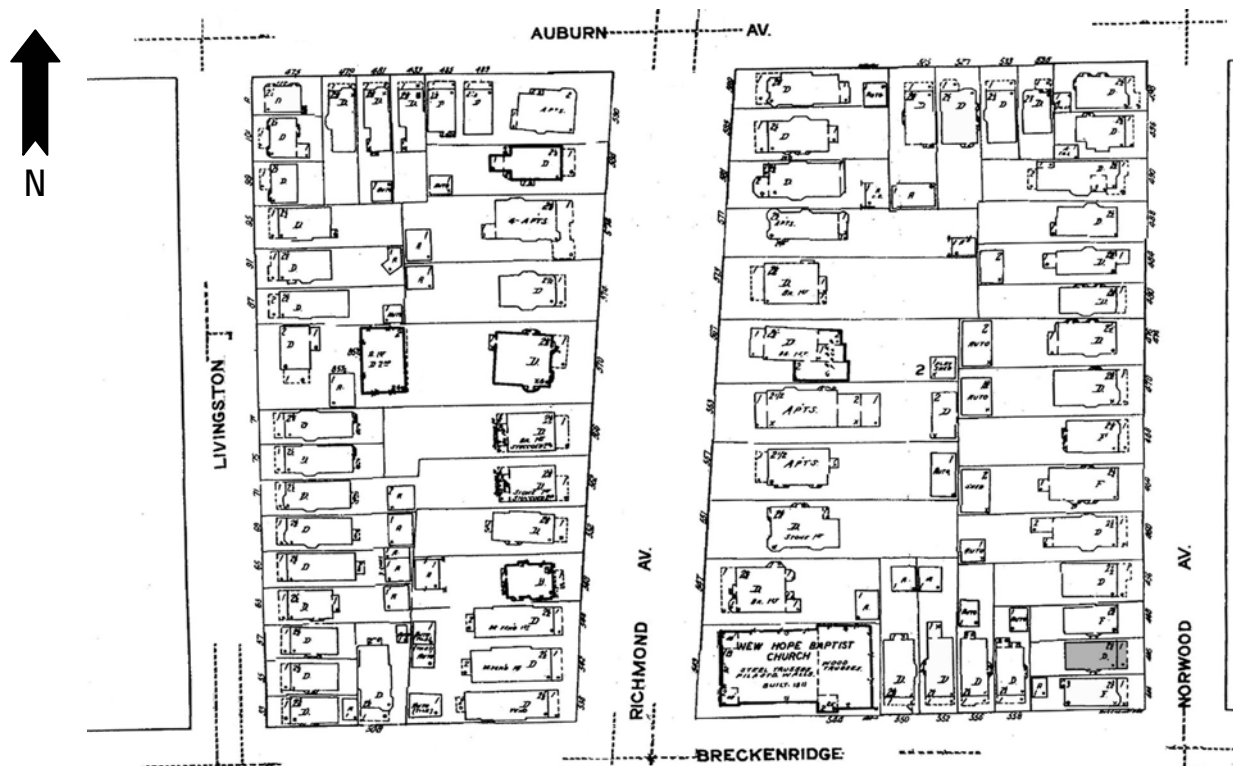
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of simple Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 446 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-18)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 448 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: south elevation fire escape Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

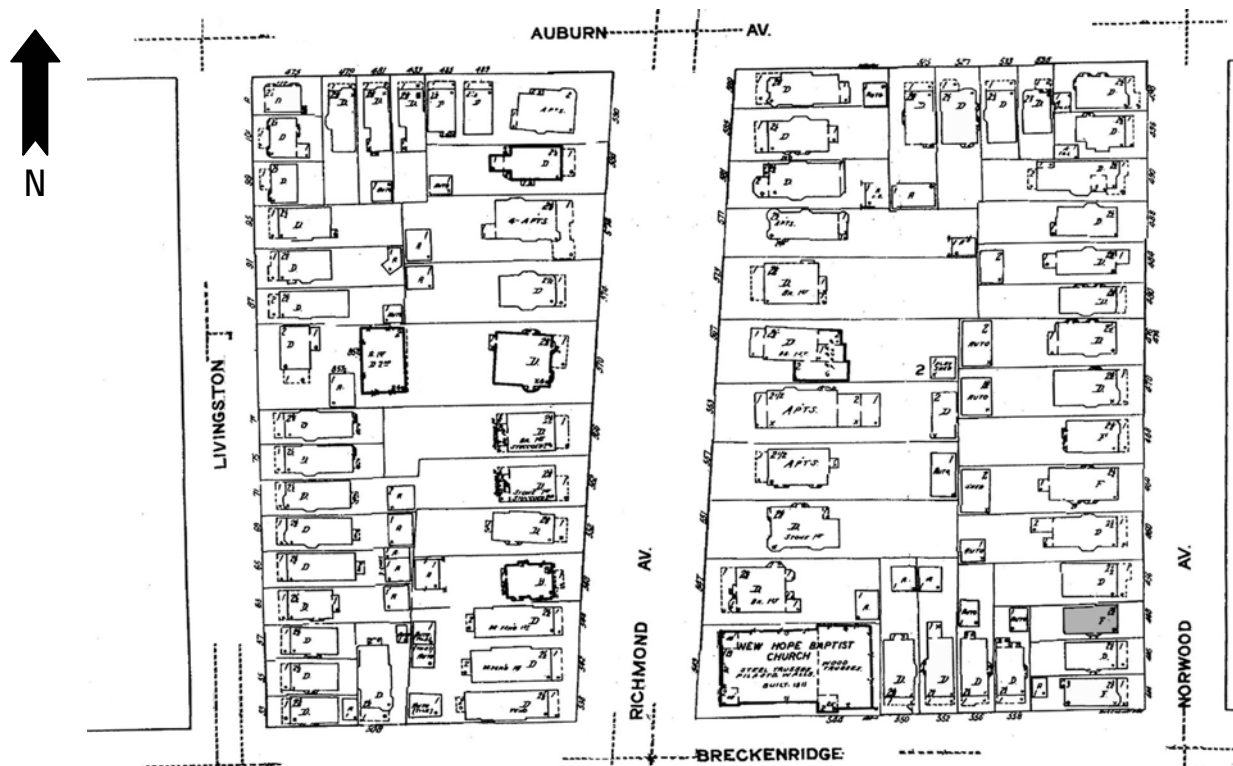
The single-family house at 448 Norwood Avenue is set on a shortened lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial influenced style. It has a rectangular plan and is set on a stone foundation. The façade has a half-width shed roof porch with paired column supports, open wood rail, and central entry stair. The main entrance is located on the façade in the north bay under the porch. A single window sets to the north of the entrance, under the porch in the far side bay. Two even spaced single windows occupy the south bay. The second floor façade has a large single window centered in the south bay; the north bay is defined by a large polygonal oriel that extends upward through the roofline as an engaged one-and-one-half story upper tower. A small flared hipped roof dormer with window accent sets to the south on the front roof slope. Closed side gable ends accented with windowing; modern metal fire escape extending on the south elevation. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash. Detailing includes simple corner boards and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 448 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial influenced style. Less styled than some, such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those of Queen Anne style were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 449 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 449 Norwood Avenue is set on a shortened lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

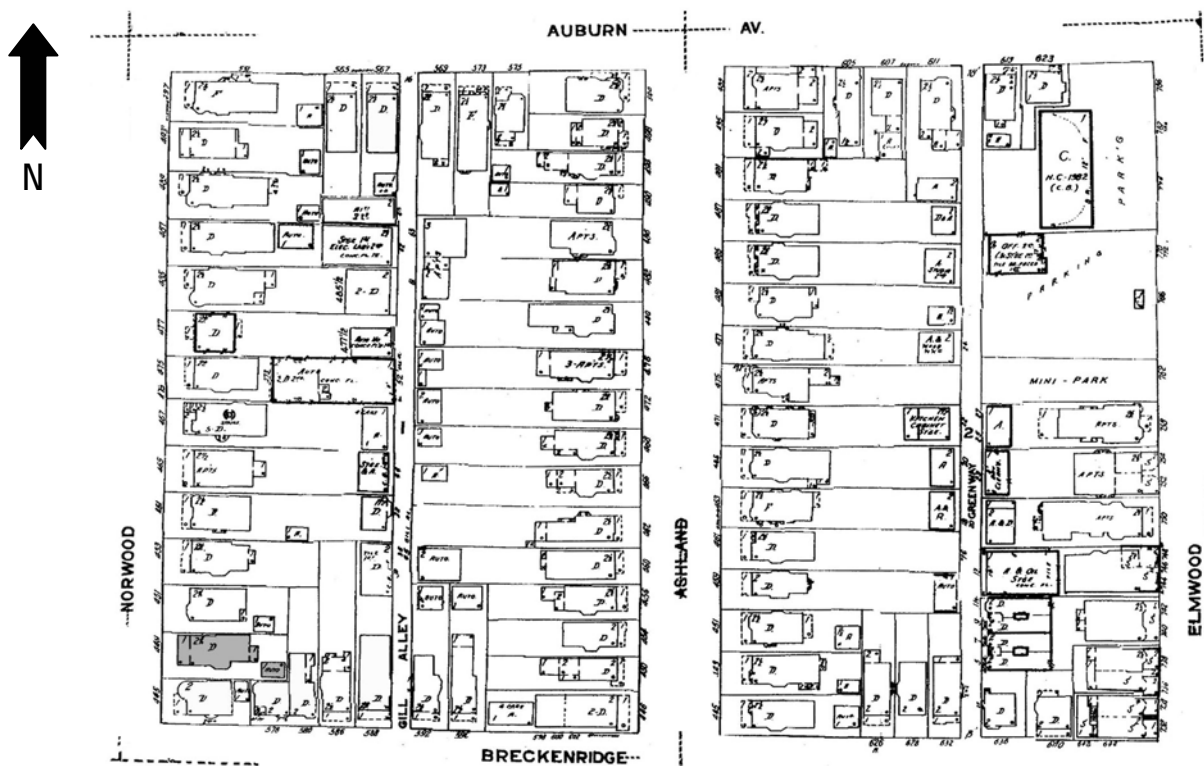
A two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial, Queen Anne influenced style. It has a roughly rectangular plan and is set on a stone foundation. The main entrance with moderate pediment enframing is located in the north bay of the façade, reached by a small wood railed entry porch and stair. A small window sets to the north of the entrance, in the far side bay. A large window sets centered in the south bay. The second floor façade has a single window centered in the north bay; the south bay is defined by a large polygonal oriel that extends upward through the roofline as an engaged one-and-one-half story upper tower. A small gabled dormer with window accent sets to the north on the front roof slope. Closed and slightly extended side gable ends accented with windowing. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes wide eaves with lookouts, flared belt course, simple corner boards, and framing.

A small garage sets in the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 449 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of moderate mixed Colonial, Queen Anne influenced style. Such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those of Queen Anne style were most common. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-3)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 451 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 451 Norwood Avenue is set on a shortened lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

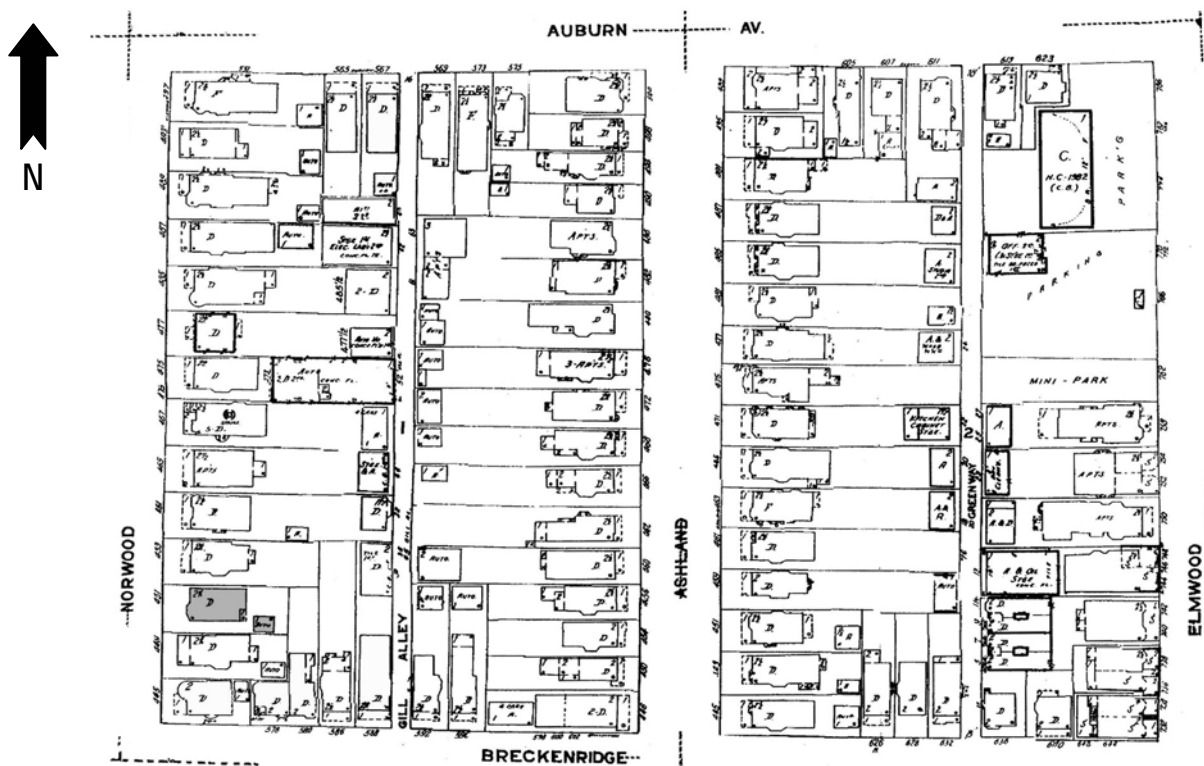
A two-story, hipped and cross gabled, urban, frame residence of Queen Anne styling. It has a short rectangular plan and is set on a stone foundation. The main entrance with moderate enframing is located in the north bay of the façade, reached by a small railed entry porch and stair. A small window sets to the north of the entrance, in the far side bay. A half-width, full-height rectangular projection defines the south bay of the façade, ending flush beneath a projecting lower pent enclosed front gable with paired window accent and decorative scrollwork in the peak. A large window group sets centered on the lower story of the south bay projection; a large polygonal oriel dominates the second story. The second floor façade has a single window centered in the north bay. A small gabled dormer with window accent sets to the north on the front roof slope. Additional lower cross gable on the south roof slope. Tall brick chimney visible on the south slope to the front of the cross gable. Exterior fabric is wood clapboard and wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes modest frieze, simple trim and framing.

A small garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 451 Norwood Avenue is significant as a good representative example of a two-story, hipped and cross gabled, urban, frame residence of Queen Anne styling. Such modestly styled family dwellings were typical of middle to upper class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 453 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

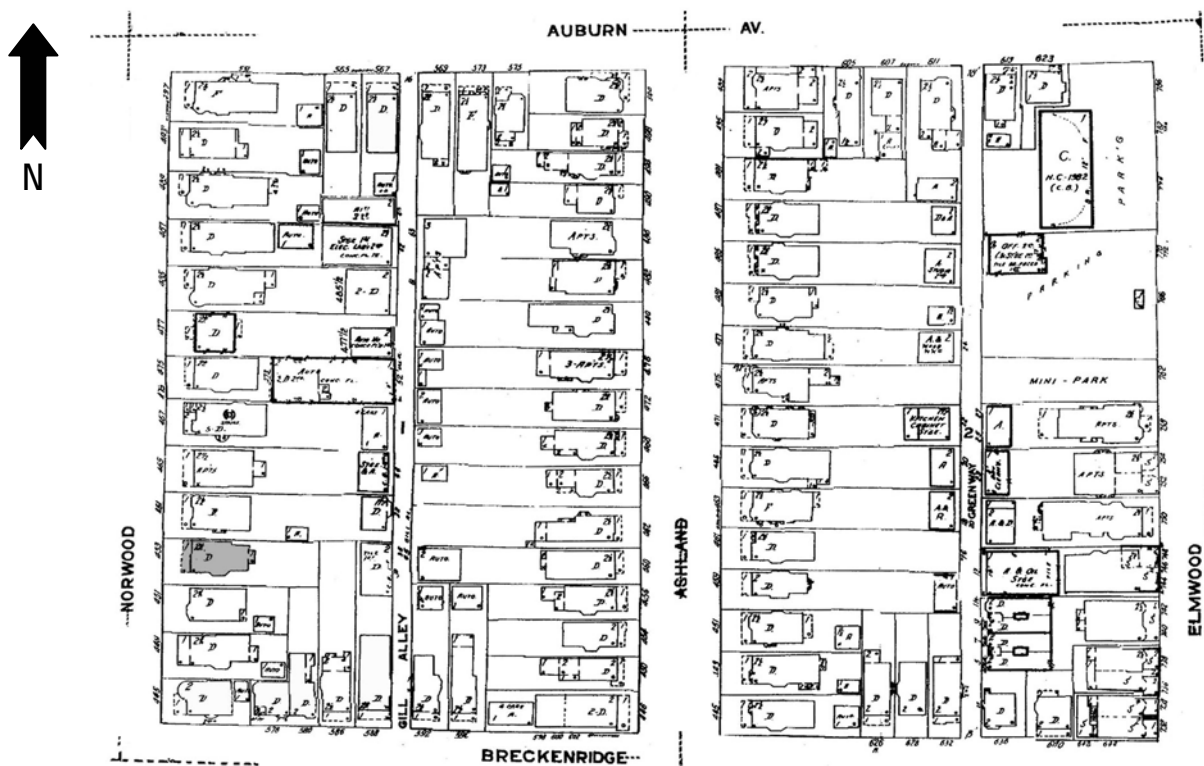
The single-family house at 453 Norwood Avenue is set on a short standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne influenced style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width shed roofed porch with square column supports, open wood rail, modest frieze, and extended pediment over the stair in the north. The main entrance with moderate enframing and sidelights is located in the north bay of the façade. A small window sets to the north of the entrance, in the far side bay. A large window group occupies the south bay. The second floor façade has a paired window centered in the south bay and a polygonal oriel in the north. Pent enclosed gable end accented by an off centered triple window group; lower gable end with window accent contained within the main gable end, at the far north. Projecting bay on the south elevation. Exterior fabric is wood clapboard and wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes modest frieze, simple corner boards, belt course, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 453 Norwood Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne influenced style. Such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-1)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 456 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

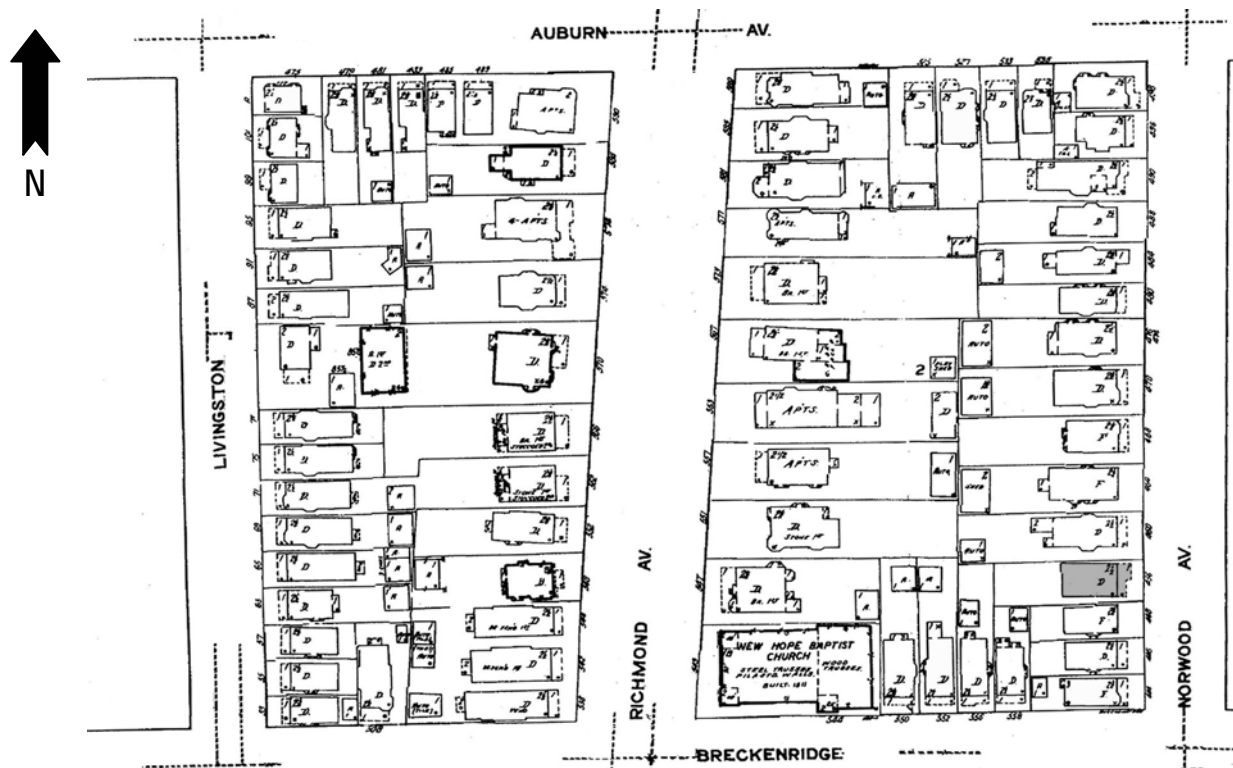
The single-family house at 456 Norwood Avenue is set on a shortened lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest mixed Queen Anne styling. It has a short rectangular plan and is set on a stone foundation. The façade has a half-width open porch in the south, with open wood rail and entry stair. The main entrance is located in the south bay of the façade, within a small enclosed rectangular vestibule. A small window sets immediately to the north of the entrance; a large window with transom sets centered in the north bay. The second floor façade has a polygonal oriel in the south over the entrance vestibule and a small paired window in the north bay aligned over the lower window. Pent enclosed gable end accented by a framed triple window group with colonnettes and sunburst motif patterned shingling. First story recessed slightly beneath the upper floors on the north elevation; two first-story polygonal bays visible. Exterior fabric is wood clapboard and wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed with ornamentation. Detailing includes simple brackets and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 456 Norwood Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest mixed Queen Anne styling. Such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 464 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1896

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 464 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

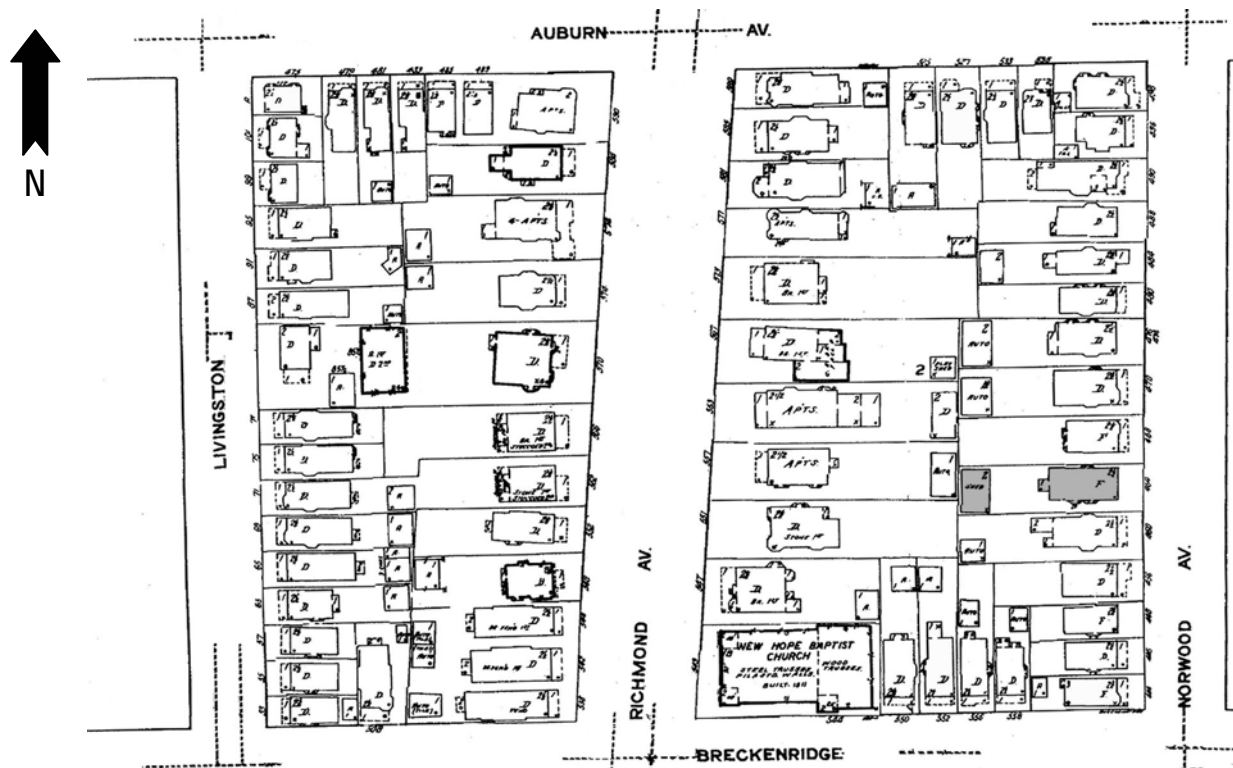
A two-and-one-half story, side gabled and rear hipped roof, urban residence with Colonial influenced design and mixed styling. It has a rectangular plan and is set on a stone foundation. The main entrance is set within a small enclosed vestibule with moderate pediment enframing located in the north bay of the façade, reached by a small entry stair. A paired window sets to the north of the entrance, in the far side bay. A triple window group sets centered in the south bay. The second floor façade has a paired window in the south bay, aligned over the lower window; the south bay is defined by a large curved oriel that extends upward through the roofline to continue as a pedimented dormer with noted arched window accents and decorative work. A small pedimented dormer with paired window accent sets to the south on the front roof slope. Closed gable ends accented with even windowing. Multiple bays and oriels visible on the side elevations. Small brick chimney at the south edge of the ridge. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes modest corner boards and trim, frieze and cornice with subtle molding

A large garage occupies the rear of the lot..

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 464 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled and rear hipped roof, urban residence with Colonial influenced design and mixed styling. Such modestly styled family dwellings were typical of urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those of Queen Anne style were most common. Built for M. H. Killaran. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-22)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 465 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known James R. Kimball Date of construction, if known 1894

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: façade fire escape Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 465 Norwood Avenue is set on a shortened lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

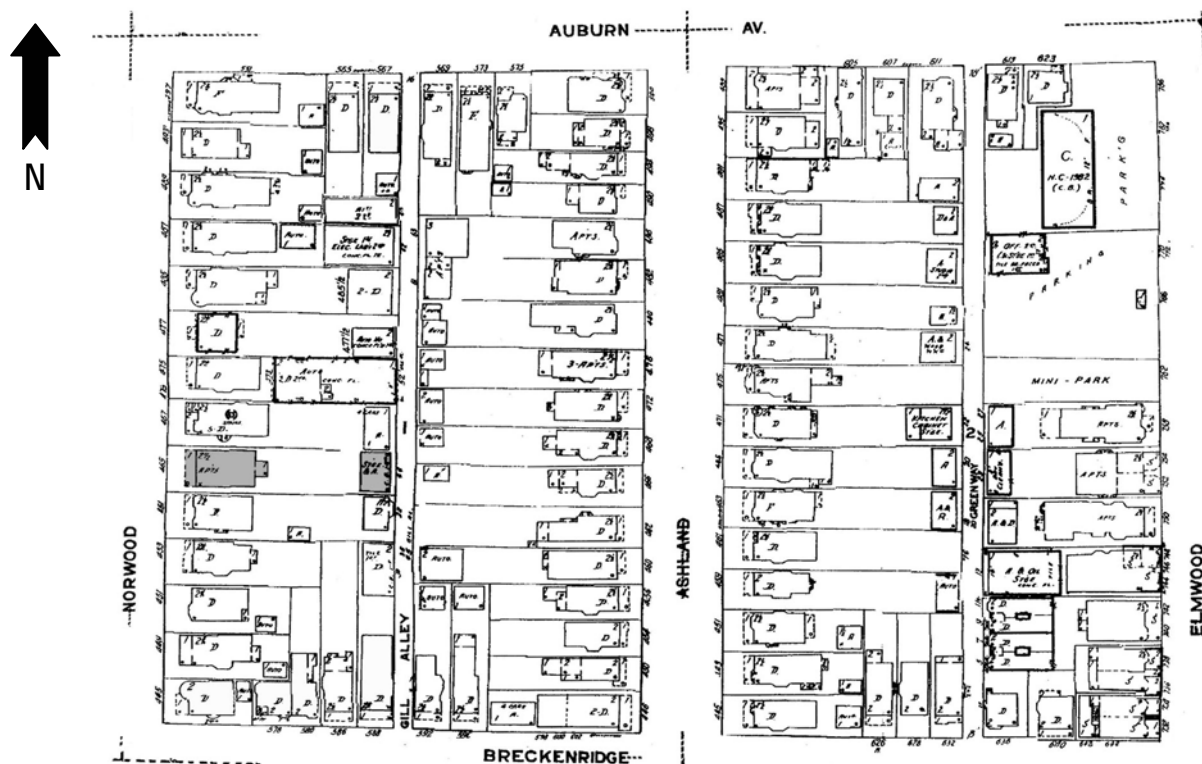
A two-story, hipped roof, urban residence of moderate Colonial Revival style. It has a regular rectangular plan and is set on a stone foundation. The symmetric façade has a centered half-width flat roofed porch with slender Ionic column supports, spindled wood rail, modest frieze and crowning, and central stair. The modestly framed and sidelighted main entrance is located centrally on the façade, under the porch. Large windows with transoms and decorative garland ornamented framing set centered in either side bay. The second floor façade is defined by simple evenly spaced single windowing. A large pedimented dormer with a Palladian window accent dominates the front roof slope; a modern metal fire escape extends down. Smaller dormers of similar design set on the side roof slopes. Tall brick chimney visible to the front on the south roof slope. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed with decorative leading. Detailing includes large corner pilasters, frieze, trim and framing.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 465 Norwood Avenue is significant as a good representative example of a two-story, hipped roof, urban residence of moderate Colonial Revival style. Such moderately styled family dwellings were typical of middle to upper class urban living in the late nineteenth and early twentieth century on the West Side of Buffalo, though those of Queen Anne style were most common. Built for L. A. Willett. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-36)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 467 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1891

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: façade fire escape Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 467 Norwood Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

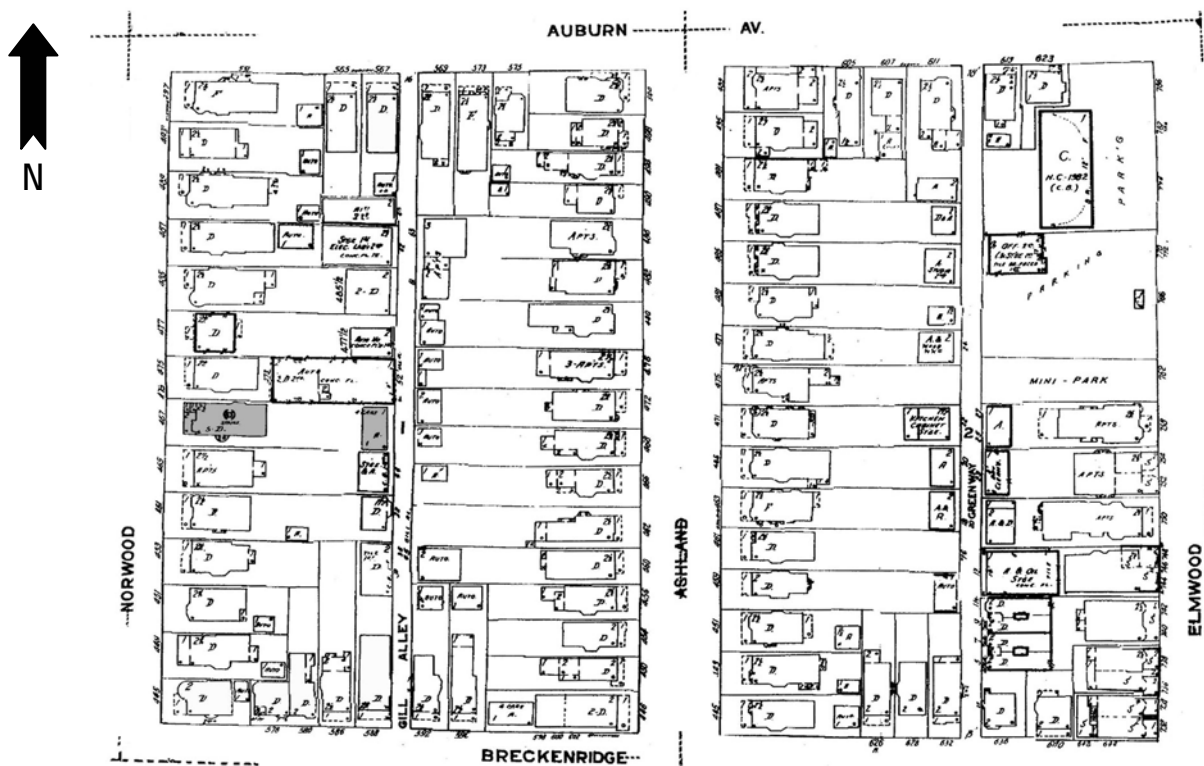
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 467 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial character, despite the changes in exterior fabrics to vinyl siding. Built for Frederick Snyder.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-35)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 470 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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The single-family house at 470 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

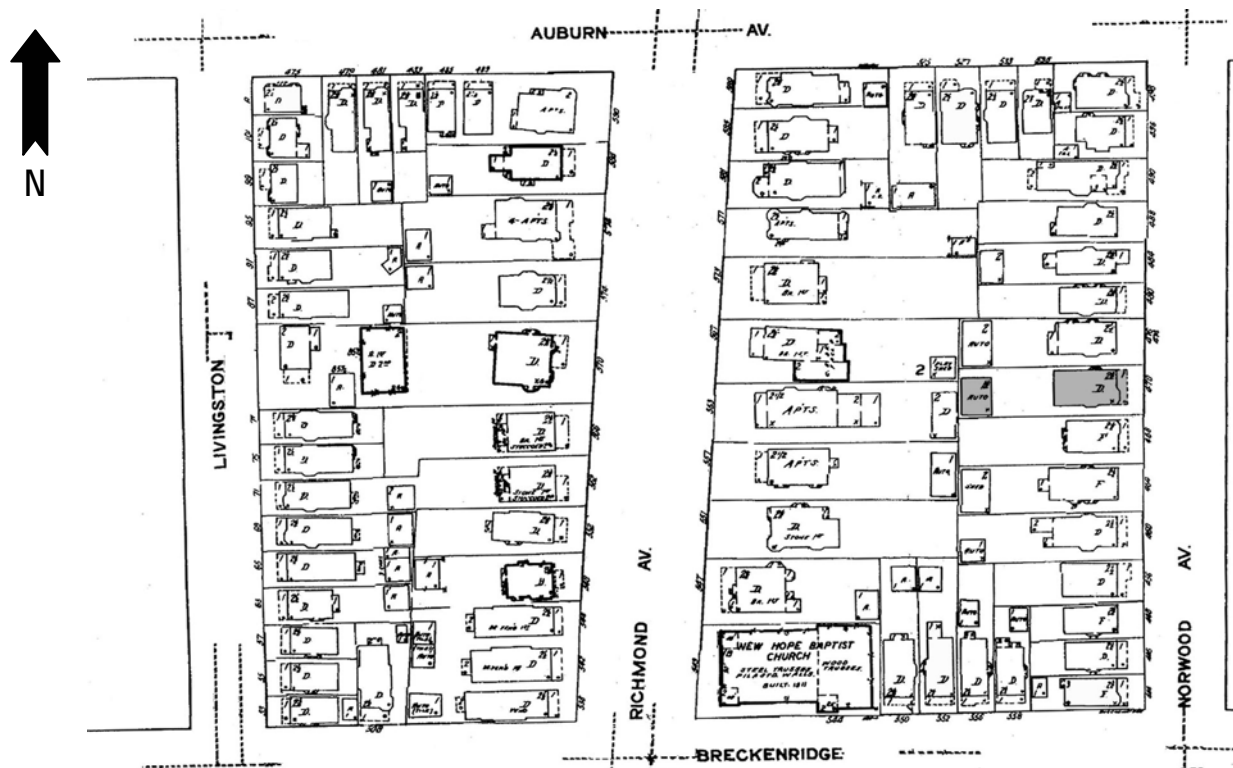
A two-story, hipped roof, urban residence of moderate Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width flat roofed porch with half-height column supports set on caped stone piers that flow into the foundation, open wood rail, ornamented frieze with cornice, and an entry stair to the north. The main entrance is located on the façade, off center to the south. A small window sets to the south of the entrance, in the far side bay. Two single windows occupy the north bay. The second floor façade has a large polygonal oriel in the south bay and a smaller curved oriel in the north. A large pedimented dormer with arched window accents sets on the front roof slope; a modern metal fire escape extends down. Smaller dormers of similar design set on the side roof slopes. Multiple bays and oriels visible on the side elevations. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed, with occasional leading. Detailing includes large corner pilasters, frieze and cornice molding, brackets, trim and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 470 Norwood Avenue is significant as a good representative example of a two-story, hipped roof, urban residence of moderate Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for M. H. Sturdy. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 476 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Louis J. P. Eckel Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 476 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

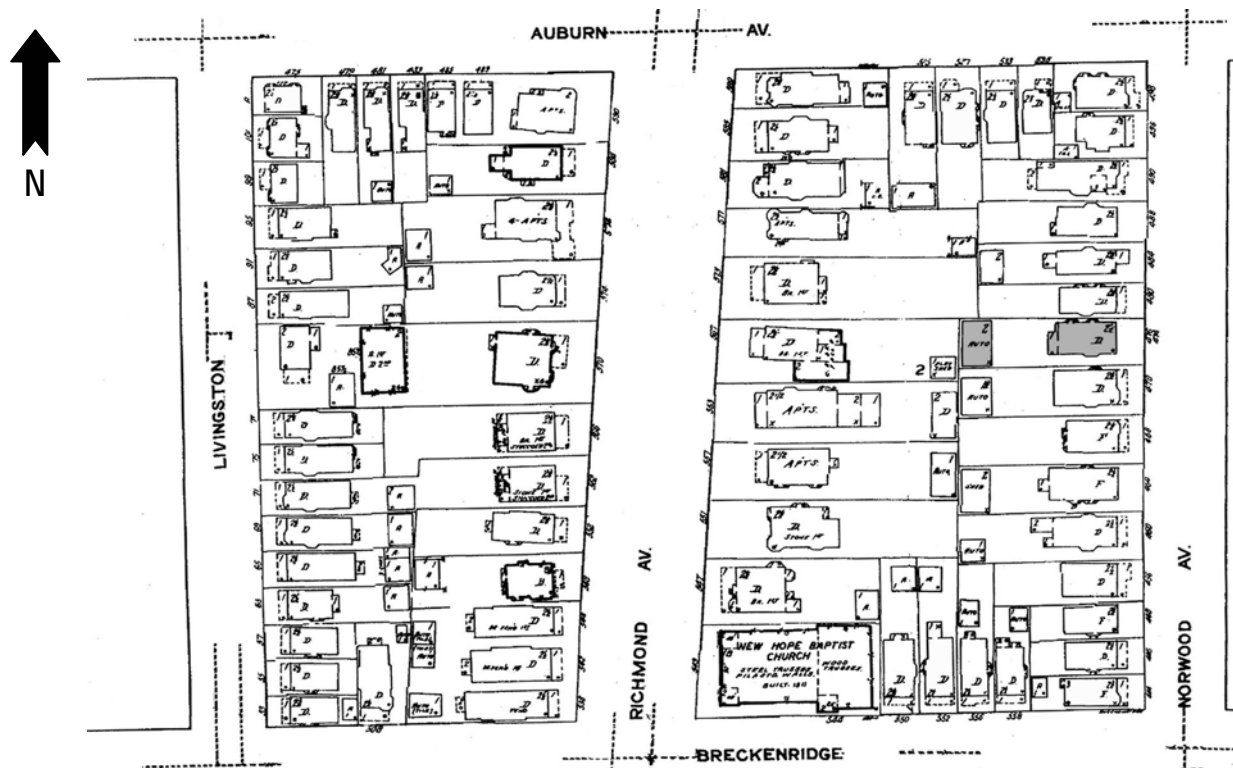
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 476 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. An architect designed residence built for M. F. Malin.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-25)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 480 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1900

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 480 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

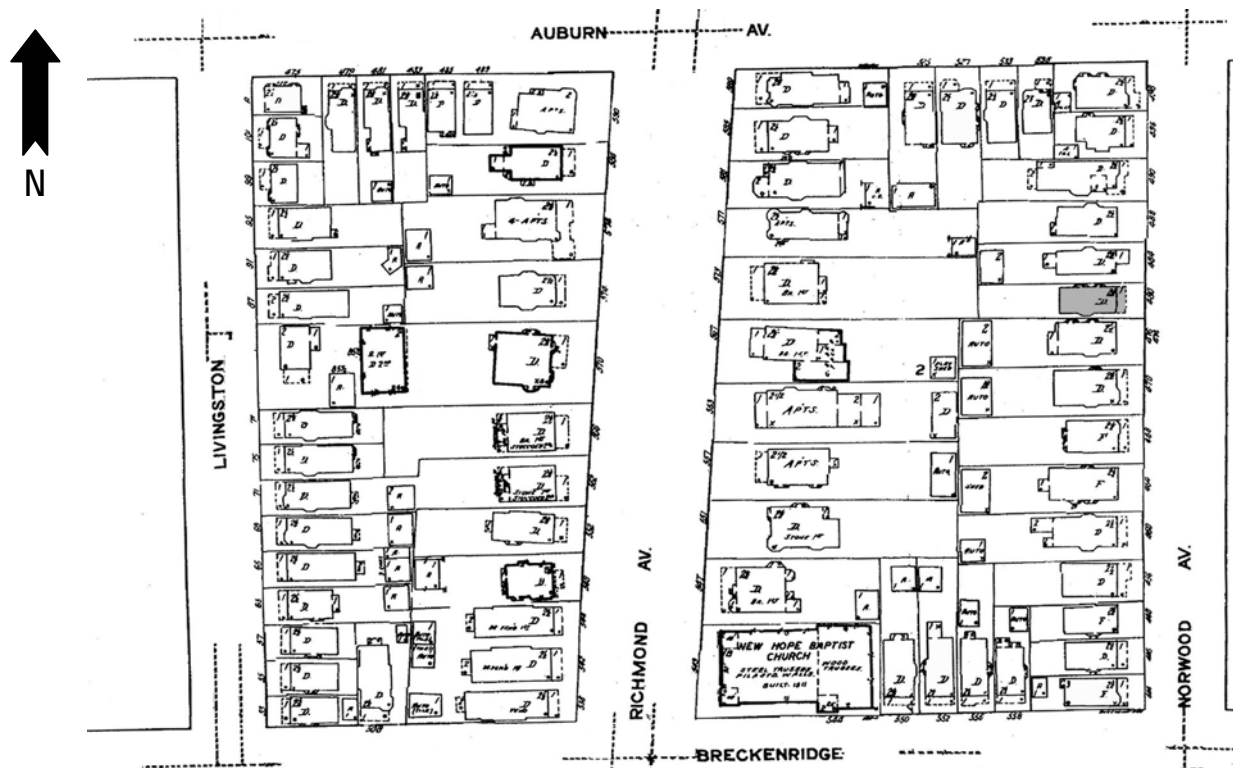
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 480 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains much of its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-26)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 485 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 485 Norwood Avenue is set on a standard lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

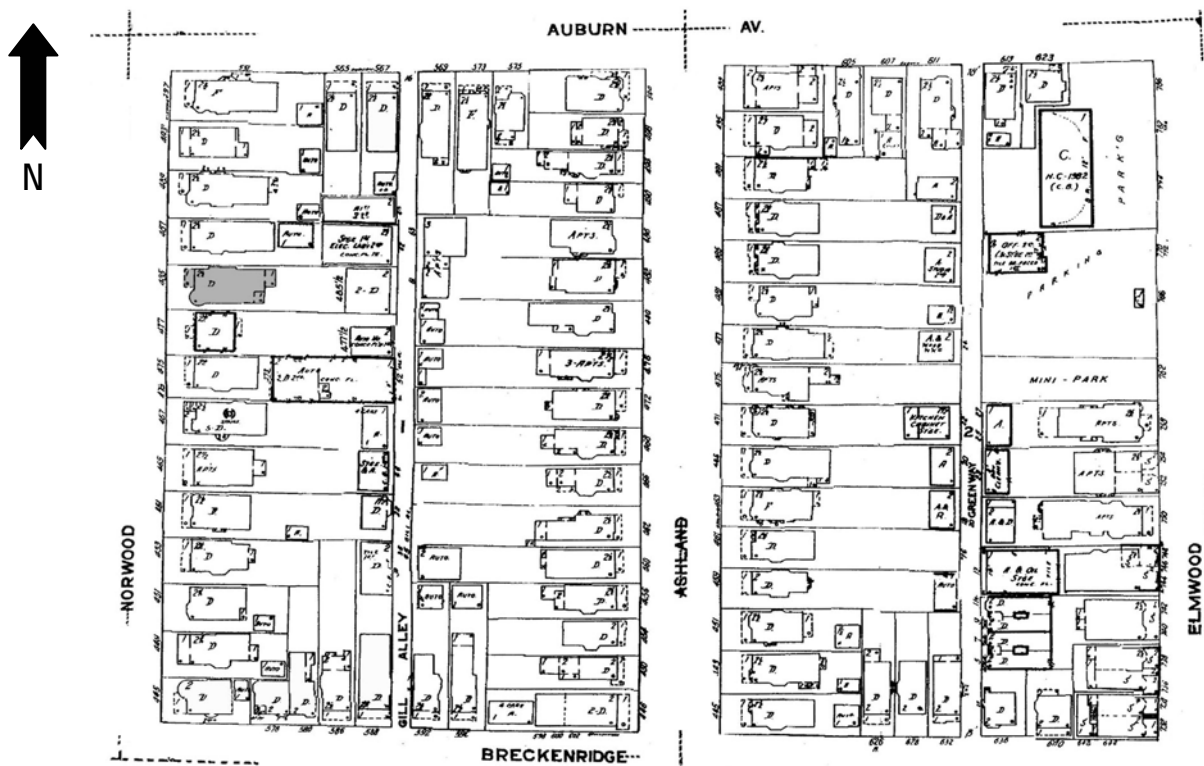
A two-and-one-half story, hipped and side gabled, urban, frame residence of Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a 2/3-width flat roofed porch with metal rail and supports, modest frieze and cornice, and an entry stair to the far south. The main entrance is located on the façade, off center to the north. A single window sets to the north of the entrance in the side bay. The south bay is defined by a two-and-one-half story engaged circular tower with conical roof. The second floor façade has a curved oriel in the north. A small flared hipped roof dormer with window accents sets on the front roof slope. Large windowing accents the slightly extending side gable at the north; lower projecting bays and oriel on the north elevation. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed, with occasional leading. Detailing includes modest frieze, simple corner boards and trim.

A large outbuilding occupies the rear of the lot reached by the Gill Street alley.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 485 Norwood Avenue is significant as a good representative example of a two-and-one-half story, hipped and side gabled, urban, frame residence of Queen Anne styling. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for J. N. Byers. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-32)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 487 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 487 Norwood Avenue is set on a shortened lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

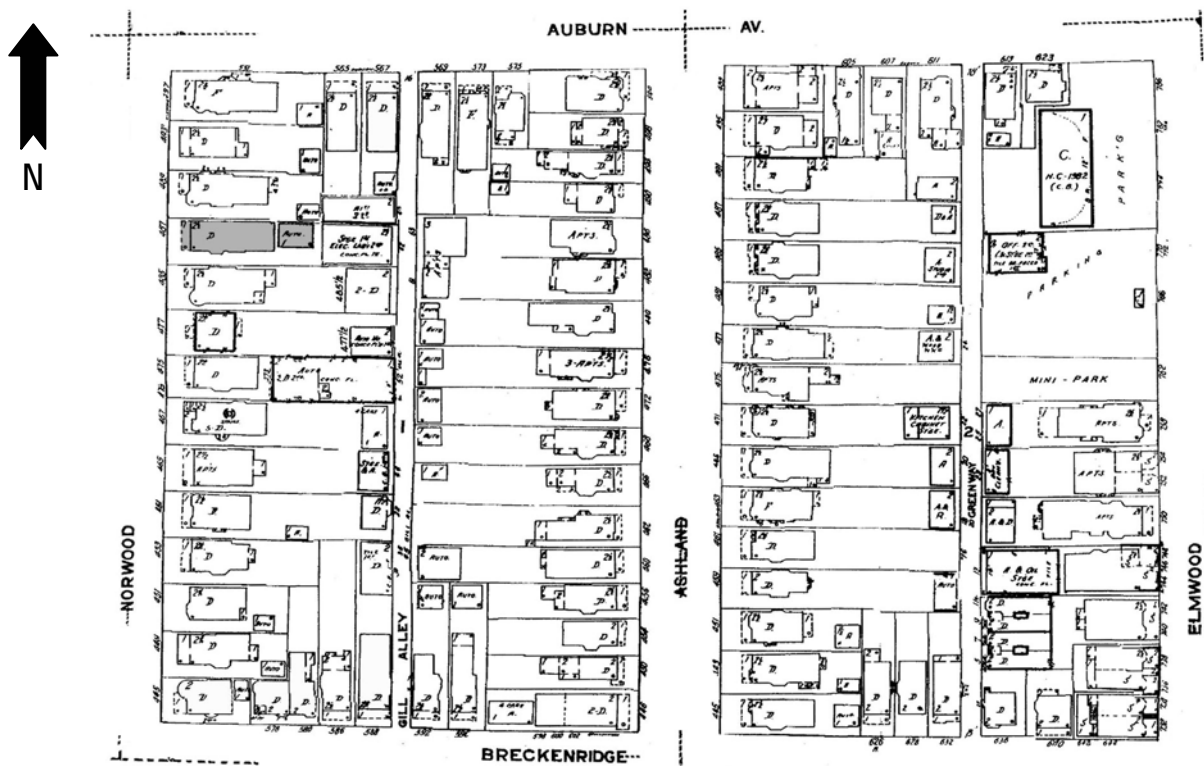
A two-story, flared hipped roof, urban, frame residence of modest mixed Craftsman influence. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender wood post supports, open patterned wood rail, simple frieze, and an entry stair to the north. The main entrance is located in the north bay of the façade. A triple window group sets in the south bay. The second floor façade has an open porch with half-height wood posts and open wood rail and matching polygonal oriels in either side bay, with a porch entrance centered in the north oriel. A flared hipped roof dormer sets on the front roof slope; smaller gabled eyebrow dormer on the north slope. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes corner boards, belt course, wide eaves, moderate frieze, and open brackets.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 487 Norwood Avenue is significant as a good representative example of a two-story, flared hipped roof, urban, frame residence of modest mixed Craftsman influence. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Those with Queen Anne influence were most common. Built for George E. Weisner. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-31)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 488 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

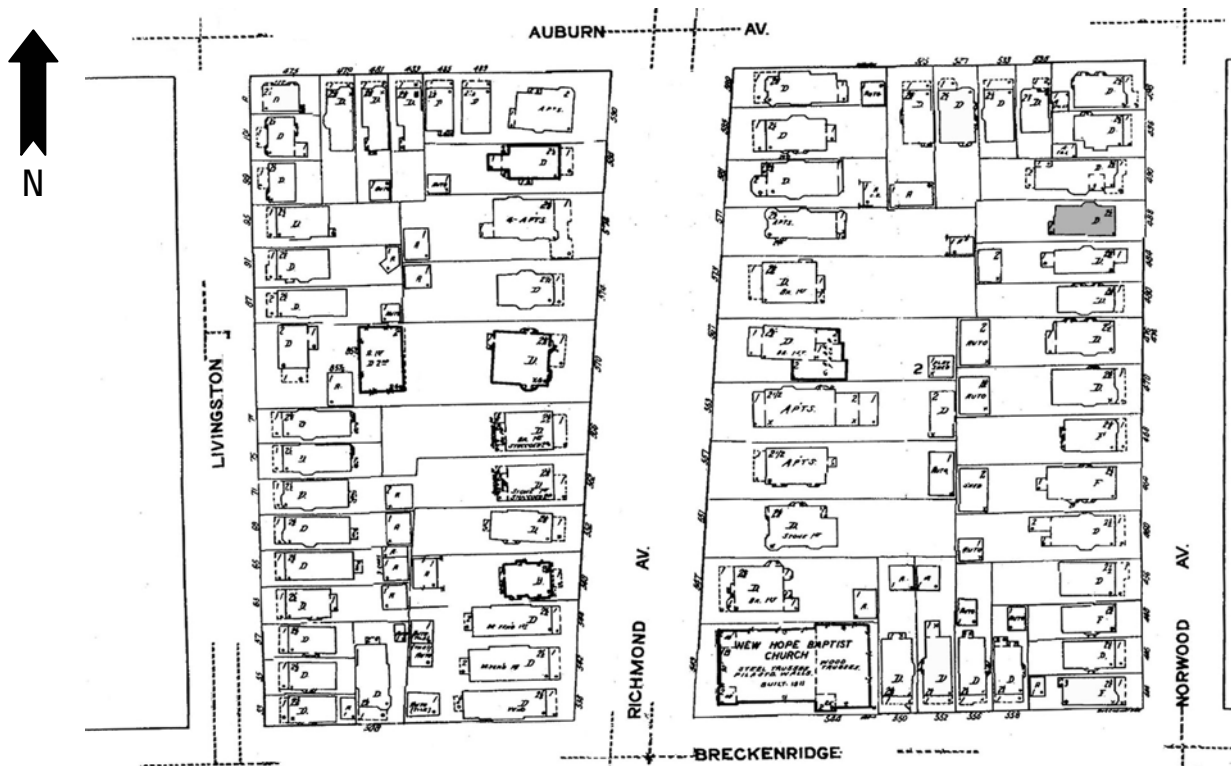
The single-family house at 488 Norwood Avenue is set on a slightly shortened lot, located on the west side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped and lower side gabled, urban, frame residence of reserved Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The main entrance is located on the façade in the recessed cut corner of the south bay and reached by a small entry stair and porch. A large triple window group occupies the north bay. The second floor façade is defined by matching polygonal oriels with triple windowing centered in either side bay. A hipped roof dormer with paired window accent sets on the front roof slope. Lower side gable on the north slope with lower two-story polygonal projecting bay on the north elevation. Exterior brick chimney bisects the south side gable and bay. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Detailing includes modest corner boards, belt course, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 488 Norwood Avenue is significant as a good representative example of a two-story, hipped roof and lower side gabled, urban, frame residence of reserved Queen Anne style. Moderately styled urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-28)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 489 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 489 Norwood Avenue is set on a shortened lot, located on the east side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

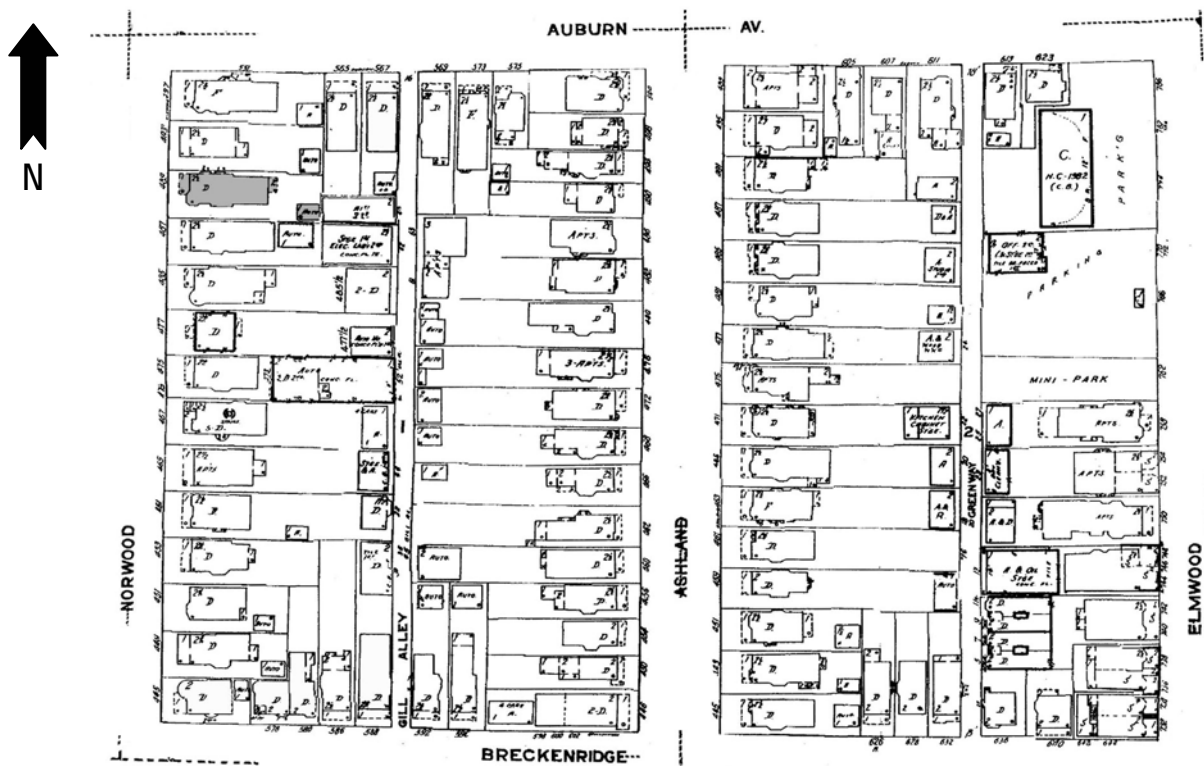
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of mixed Colonial influenced design and noted high Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 489 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1886) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-30)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 490 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

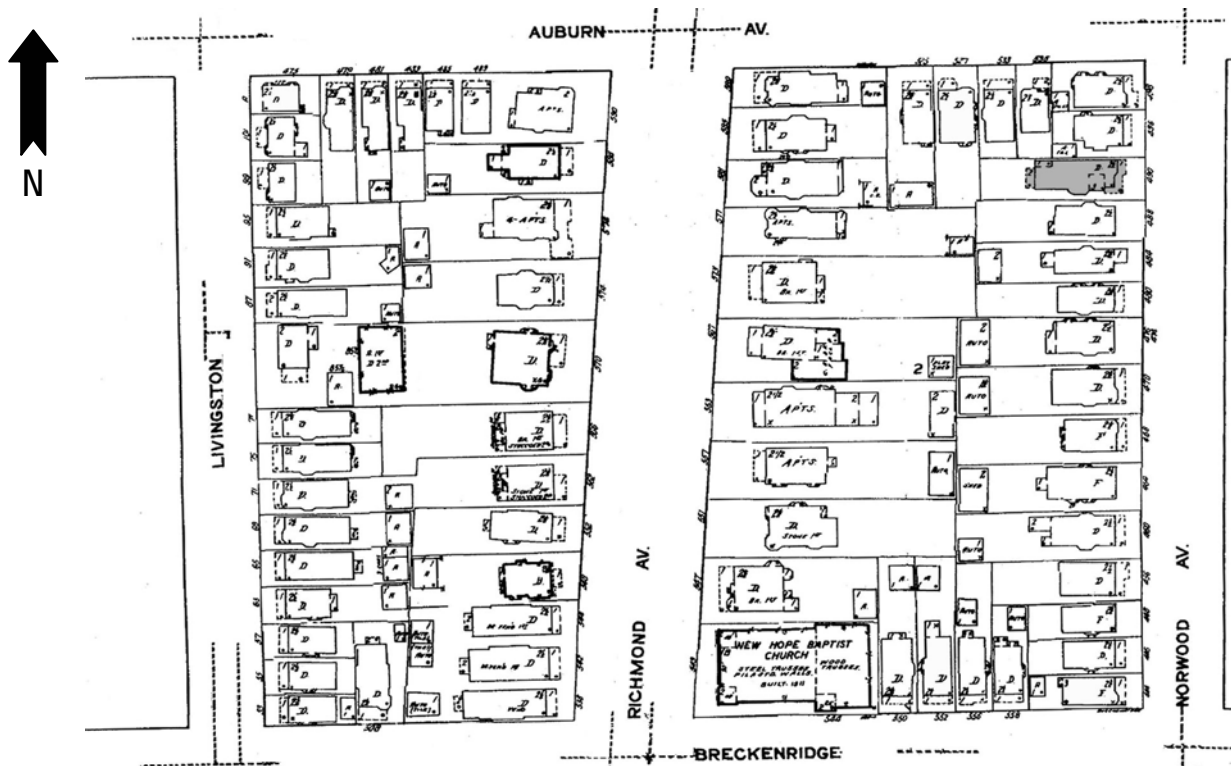
The single-family house at 490 Norwood Avenue is set on a slightly shortened lot, located on the west side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a half-width porch in the south, with square column supports, open wood rail, and an entry stair. The main entrance is located in the south bay of the façade, under the porch. The north bay is defined by a polygonal bay with large windowing. The second floor façade has a half-width open porch in the south, with solid wood rail; a large rectangular oriel defines the north bay. A large pedimented dormer with window accents and decorative scrollwork sets on the front roof slope. The rear portion of the residence extends slightly to the south with a notable engaged square tower and a visible projecting side gable with lower oriel on the south elevation. Brick chimney visible on the north roof slope. Exterior fabric is wood clapboard with decorative wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed; notable pointed arch window on the lower story of the tower. Prominent detailing includes patterned trim and framework, brackets, and modest molding.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 490 Norwood Avenue is significant as a good representative example of a two-and-one-half story, hipped and cross gabled, urban, frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-29)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 493 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1894

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 493 Norwood Avenue is set on a shortened lot, located on the east side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

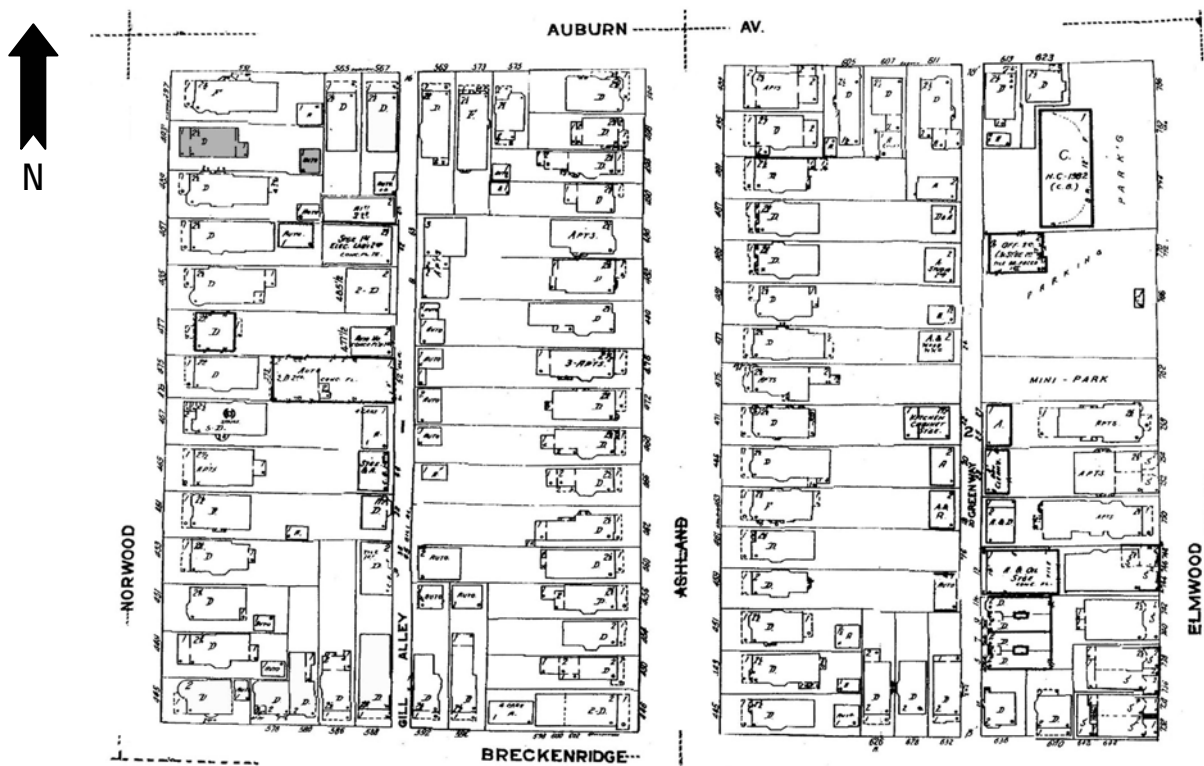
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, frame residence of Colonial influenced design and simple period styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 493 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. Built for George W. Reed.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 496 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 496 Norwood Avenue is set on a shortened lot, located on the west side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

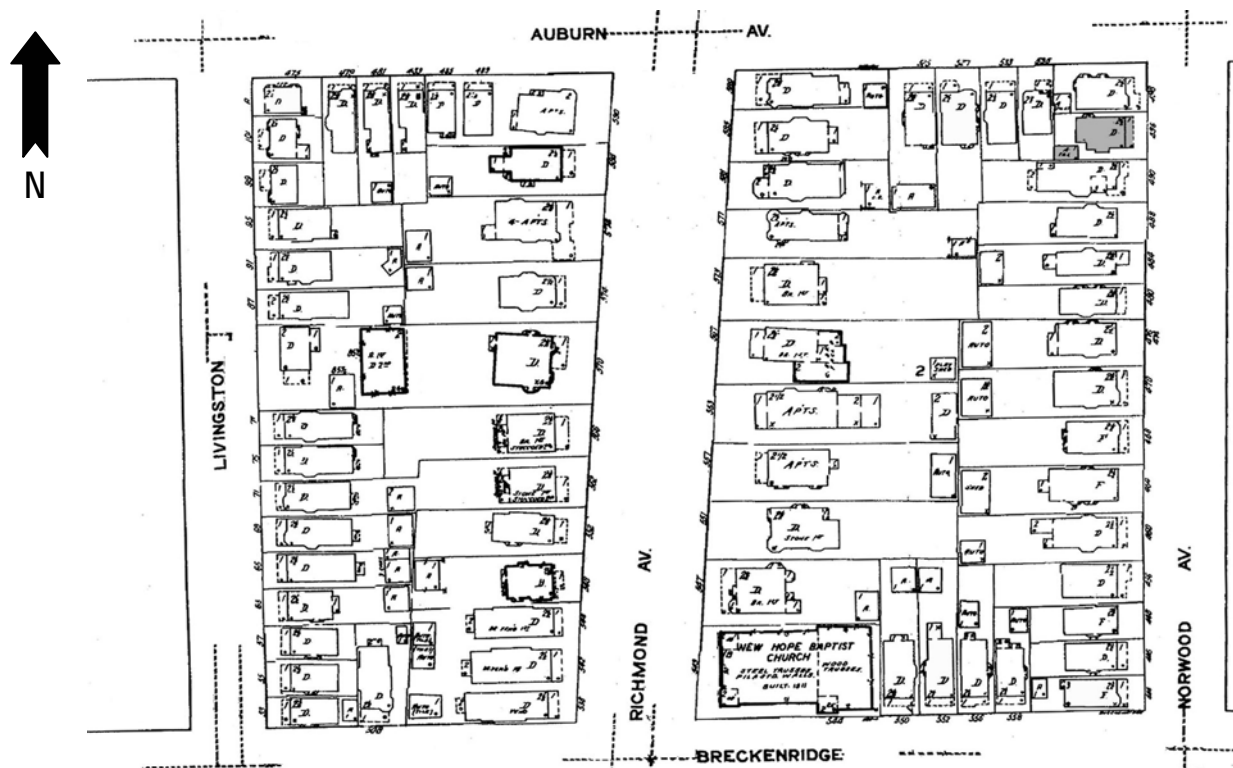
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 496 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. Built for Edwin P. Bacon.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-30)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 497 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 497 Norwood Avenue is set on a shortened corner lot, located on the east side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

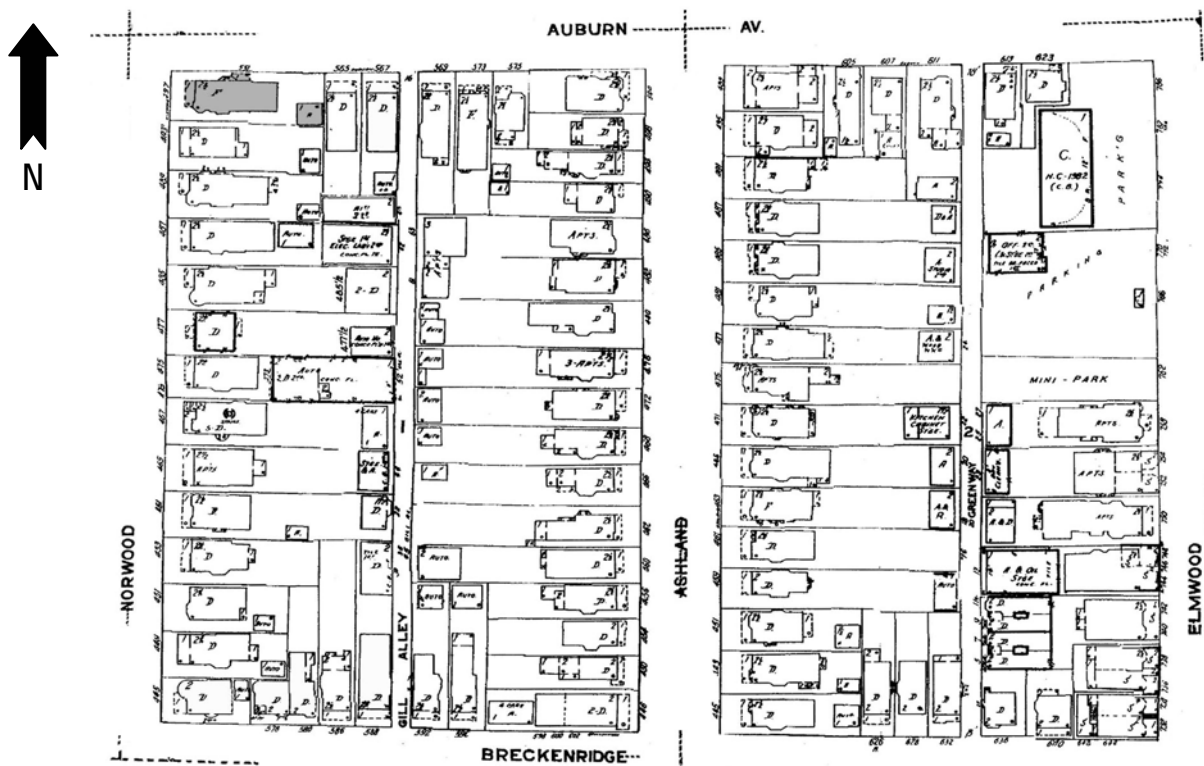
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of mixed period Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 497 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Built for William G. Staniland.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-28)







## HISTORIC RESOURCE INVENTORY FORM

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(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 498 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 498 Norwood Avenue is set on a shortened corner lot, located on the west side of the street at the north end of the block between Breckenridge Street and Auburn Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

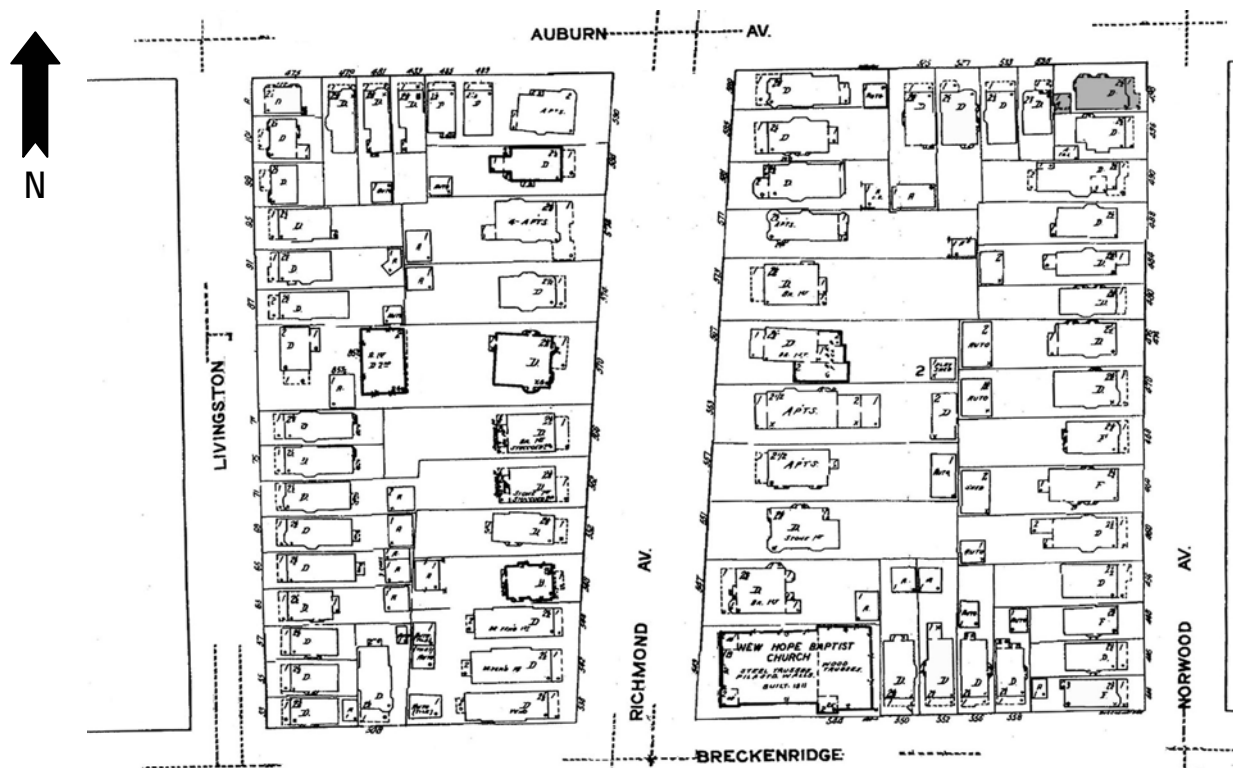
**NON-CONTRIBUTING**

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne influenced styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 498 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-31)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 505 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 505 Norwood Avenue is set on a shortened corner lot, located on the east side of the street at the south end of the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

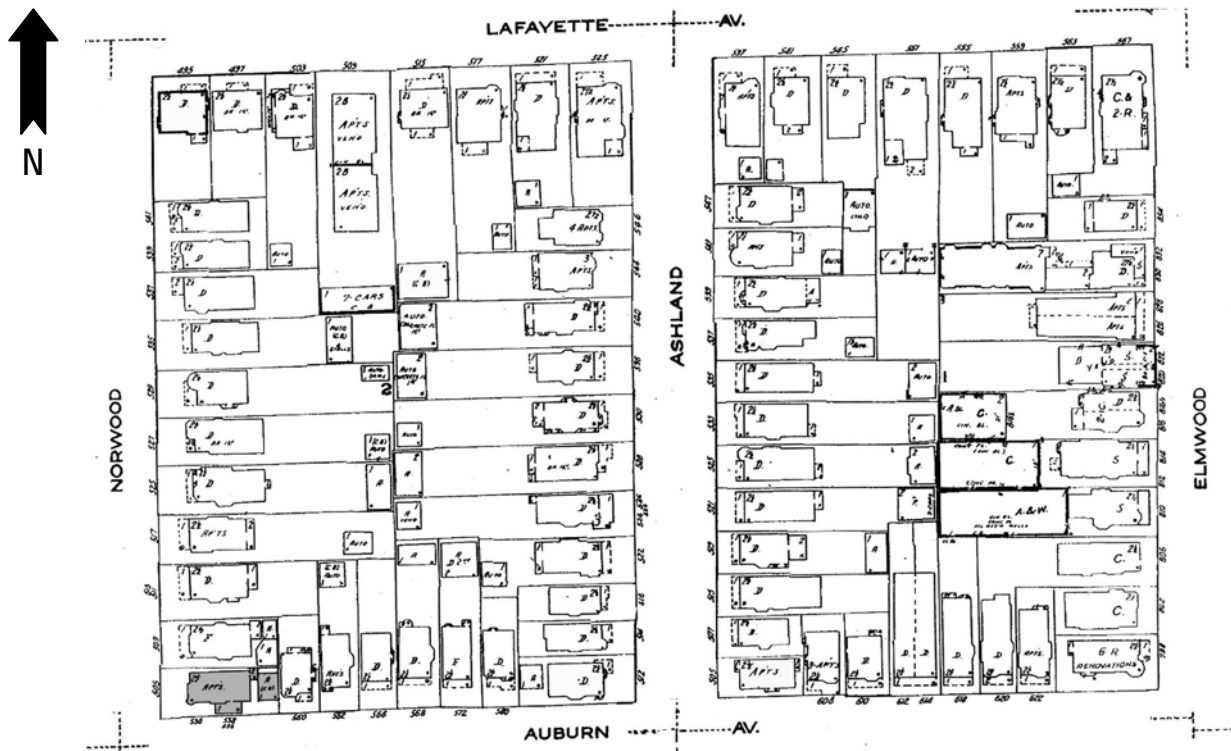
A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. It has a slightly irregular, though largely rectangular plan and is set on a stone foundation. The main entrance is located in the far north bay of the façade, set within an enclosed pedimented vestibule reached by a small entry stair. A single window sets above the vestibule on the second floor façade. The remainder of the façade to the south is defined by a two-story rectangular and polygonal bay with even windowing, both contained beneath the projecting front gable end. The large front gable end is accented by a triple window group; gable peak closed with ornamental stick and frame work. Similar styling on the south side gable. Two story, roofed rectangular bay visible at the front of the south elevation; additional large first story bay with second story railed porch further to the rear. Several brick chimneys visible. Exterior fabric is wood clapboard. Fenestration is one-over-one, four-over-four, and six-over-six double hung wood sash and fixed with multi-paning. Additional detailing includes wide frieze, lookouts, and modest trim.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 505 Norwood Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-27)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 506 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

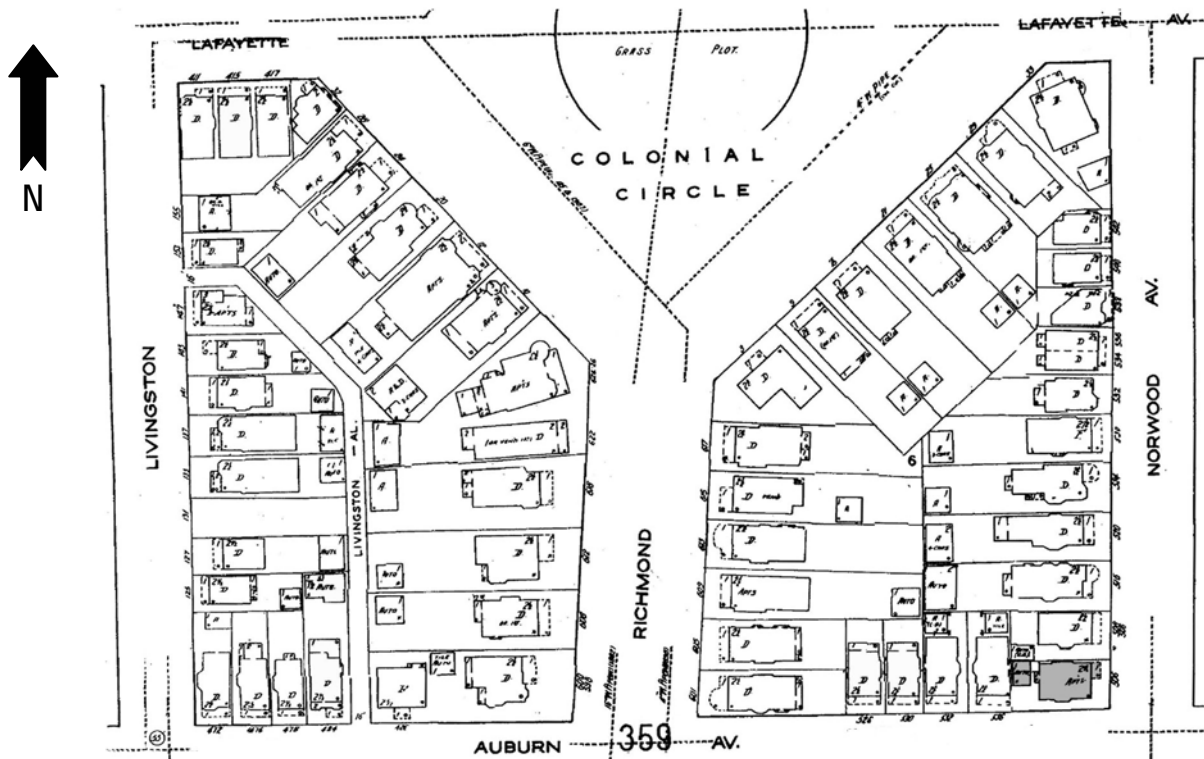
The single-family house at 506 Norwood Avenue is set on a shortened corner lot, located on the west side of the street at the south end of the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, frame residence of simple period styling. It has a rectangular plan and is set on a stone foundation. The main entrance is located in the far north bay of the façade, set within a small enclosed shed roof vestibule reached by a small entry stair. A paired window sets in the south bay. The second floor façade is defined by spaced double and single windows. Two small pedimented dormers set centrally on the front slope. Small lower cross gable on the south slope; polygonal bay below on the south elevation. Additional entrance on the south elevation with similar vestibule and stair. Brick chimney visible to the rear on the south roof slope. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes corner boards, trim, wide frieze and lookouts.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 506 Norwood Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of simple period styling. Less styled than most, urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-32)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 517 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 517 Norwood Avenue is set on a short standard lot, located on the east side of the street at the south end of the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

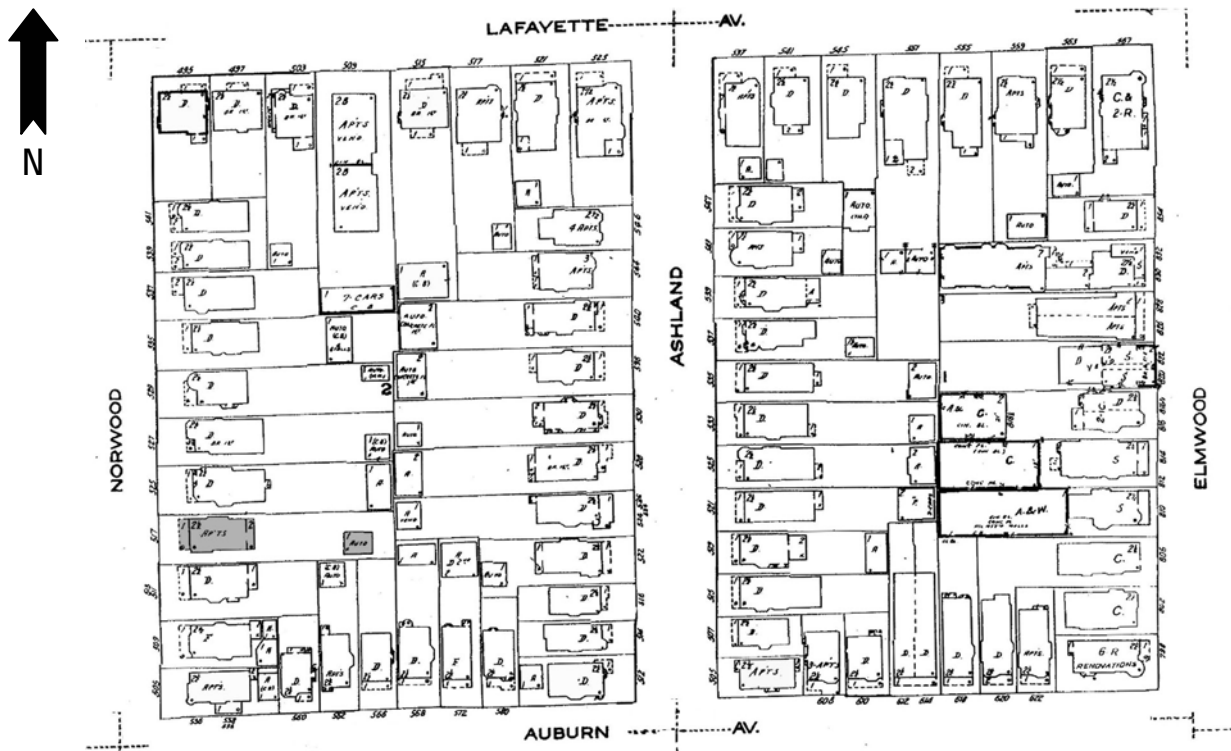
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 517 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains much of its initial styling and character, despite the changes in exterior fabrics. Built for John W. Gibbs.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 520 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1892

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 520 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

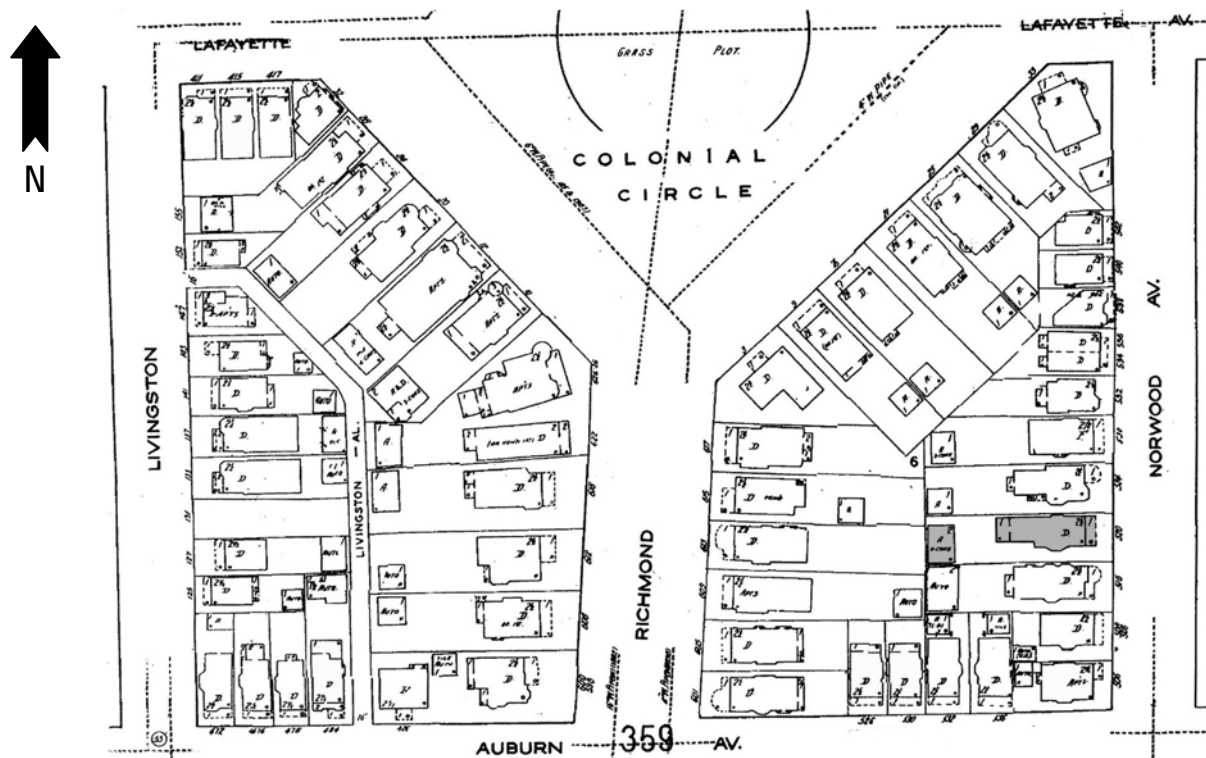
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 520 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains much of its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for W. M. Citerley.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-35)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 524 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1892

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 524 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

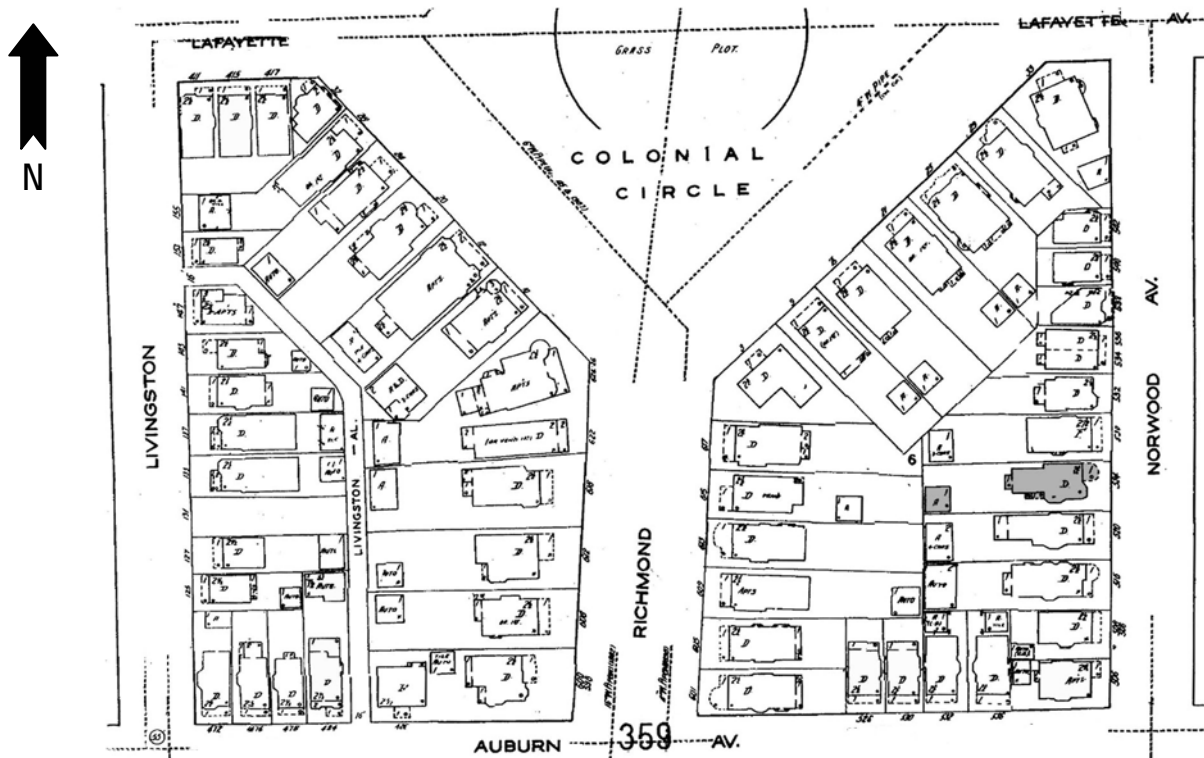
A two-and-one-half story, side gabled, urban, residence with Colonial influenced design and mixed Queen Anne styling. It has a roughly rectangular plan. The façade has a half-width hipped roof porch in the north, with slender square column supports, spindled wood rail, and an entry stair. The main entrance is located in the far north bay of the façade, under the porch. A single window sets to the south of the entrance, under the porch. The second floor façade has a wide single window in the north bay. The south bay is dominated by a two-story polygonal bay, contained under the extended eave. Lower front cross gable with decorative wood shingle and triple window group accent, at the south of the front slope above the projecting bay. A small hipped roof dormer sets to the north on the front slope. Closed side gable ends and side elevations accented with sparse simple windowing. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes frieze with lookouts and trim.

A garage sets at the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 524 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence with Colonial influenced design and mixed Queen Anne styling. Moderately styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for George Rice. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-36)







## HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 527 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

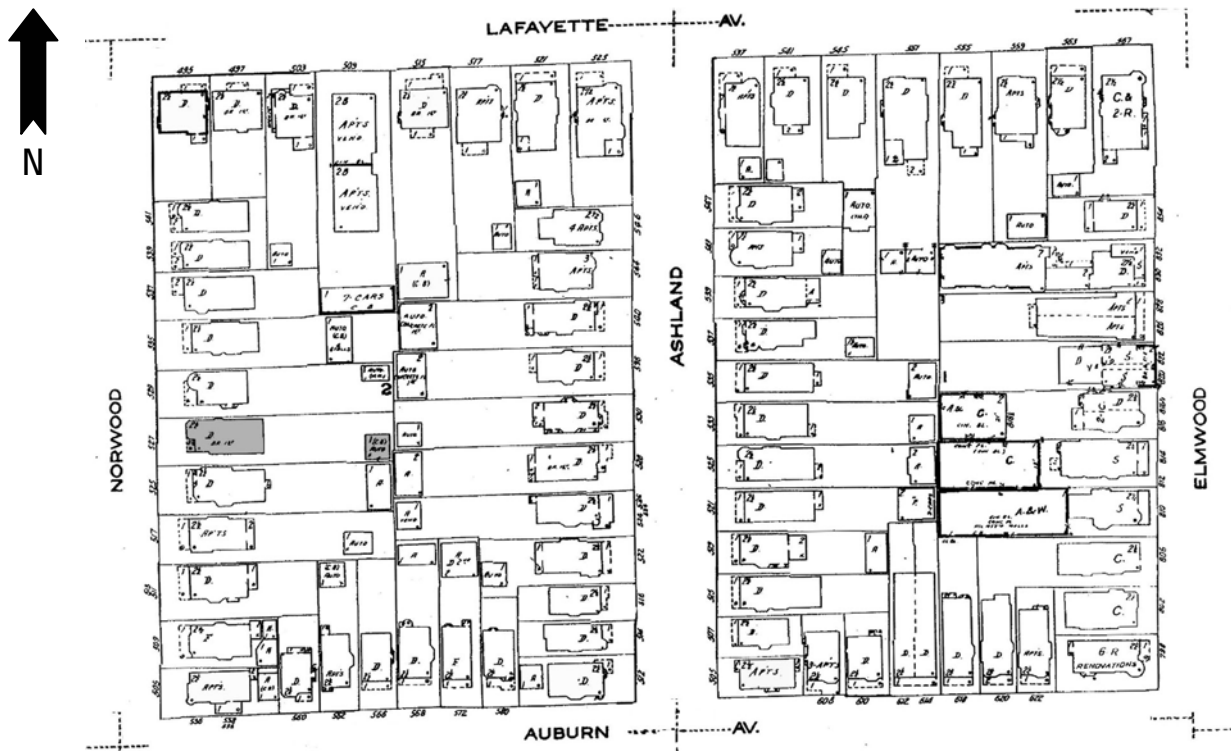
The single-family house at 527 Norwood Avenue is set on a standard lot, located on the east side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, residence of moderate half-timbered Queen Anne style. It has a rectangular plan. The façade has a half-width porch in the south, with square column supports, spindled wood rail, detailed frieze and cornice molding, and entry stair. The main entrance is located in the north bay of the façade, under the porch. A small window sets next to the entrance, in the far side bay under the porch. Single windowing in the north bay with cut corner. The second floor façade has an enclosed porch in the south, with continuous ribboned window upper and detailed frieze and cornice molding. Single windowing in the north bay, aligned over the lower windows; north corner cut. The pent enclosed gable end is accented by a slightly recessed triple window group with enframingent. Exterior fabric is brick on the lower story, wood clapboard upper with extensive half-timbered framework. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing include frieze and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 527 Norwood Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, residence of moderate half-timbered Queen Anne style. Moderately styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Caroline W. Behrends. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-22)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 530 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 530 Norwood Avenue is set on a standard lot, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

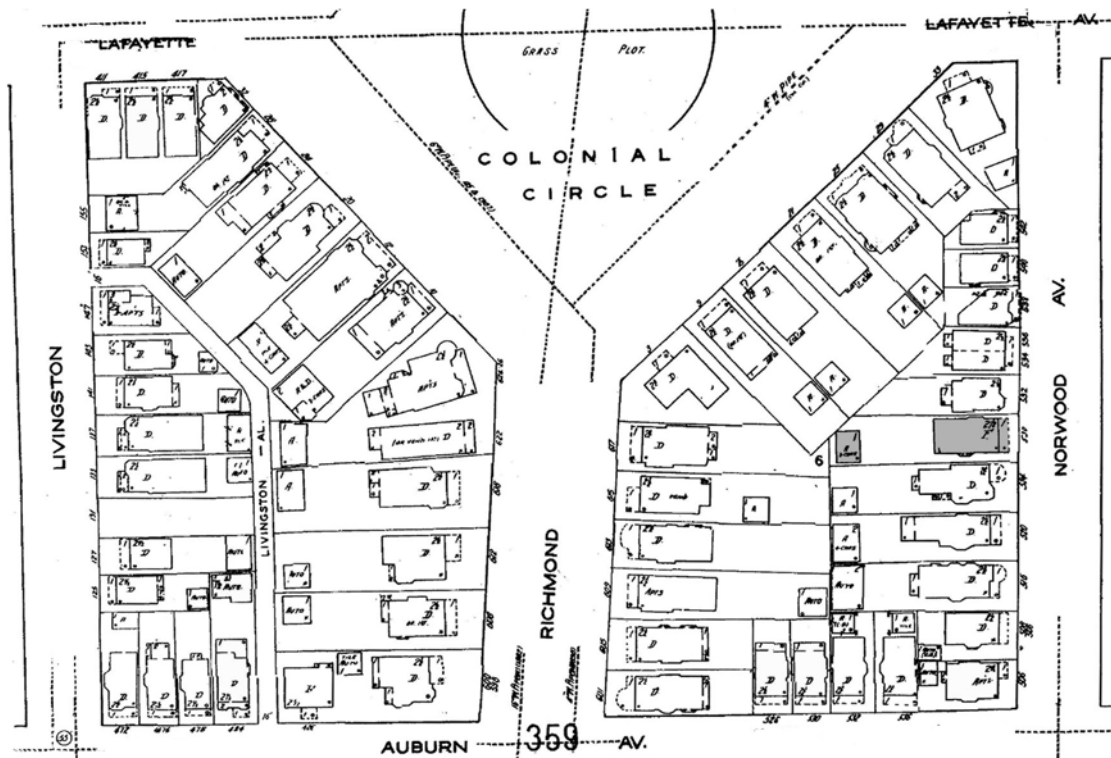
A two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. It has a rectangular plan. The façade has a full-width porch with  $\frac{3}{4}$ -height Ionic column supports set atop stone posts that flow into the foundation, stone rail with open wood insets, modest frieze, and entry stair in the north. The enframed main entrance is located on the façade, off center to the north. A wide window with transom and matching enframement sets next to the entrance, in the far north side bay. A large multi-paned window occupies the south bay. The second floor façade has an open porch with metal rail, a double door porch entrance with similar enframement in the south bay, and an enframed paired window in the north. A pedimented gable with Palladian window accent sets centered on the front slope. Smaller similar dormer visible on the south slope; several small bays on the south elevation. Brick chimney visible. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed, with occasional leading. Additional detailing includes corner pilasters, modest frieze, ornament and trim.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 530 Norwood Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for John W. Gibbs.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-14; N-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 532 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

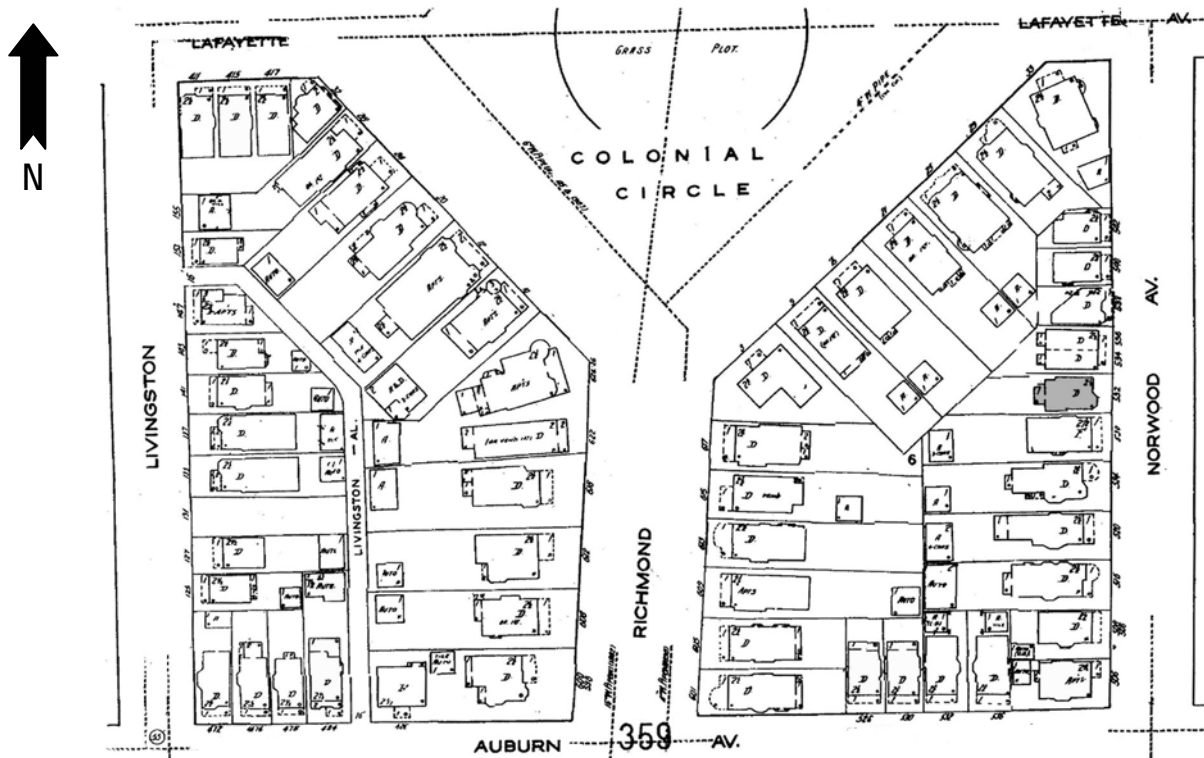
The single-family house at 532 Norwood Avenue is set on a trapezoidal lot, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, residence with Colonial influenced design and mixed Queen Anne styling. It has a rough, short rectangular plan. The main entrance with broken pediment enframingent is located in the north bay of the façade, reached by a small metal railed entry porch and stair. The second floor façade has a wide single window in the north bay. The south bay is dominated by a two-and-one-half story engaged polygonal tower with tiered triple windowing. A small pedimented dormer sets to the north on the front slope. Closed side gable ends and side elevations accented with sparse simple windowing. Small, first story, roofed, rectangular bay visible at the rear on the south elevation. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes corner boards, belt course, frieze, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 532 Norwood Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence with Colonial influenced design and mixed Queen Anne styling. Moderately styled urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-1)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 534-536 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1900

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

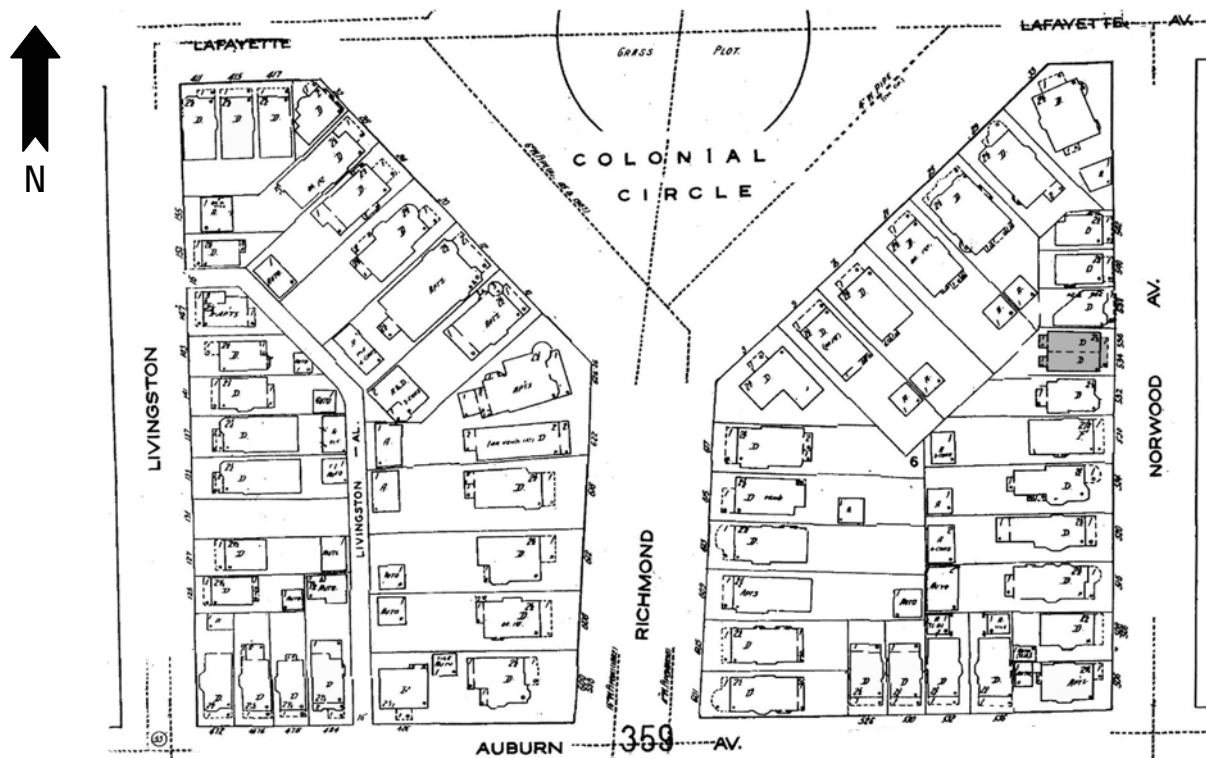
The double house at 534-536 Norwood Avenue is set on combined shortened trapezoidal lots, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. It has a rough rectangular plan. The façade has a full-width enclosed porch with a triple window group centered in either side bay. The main entrance is located centrally on the facade within a recessed niche, reached by a stair. The second floor façade has an open porch with metal rail, double porch entrances located centrally, a polygonal oriel in the north bay, and a two-story engaged circular tower in the far south bay rounding the corner. A large hipped roof gable with double paired window accent sets centered on the front slope. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes lookouts under the front eaves and simple trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 534-536 Norwood Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. Styled urban singles and doubles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1886) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 535 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 535 Norwood Avenue is set on a short standard lot, located on the east side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

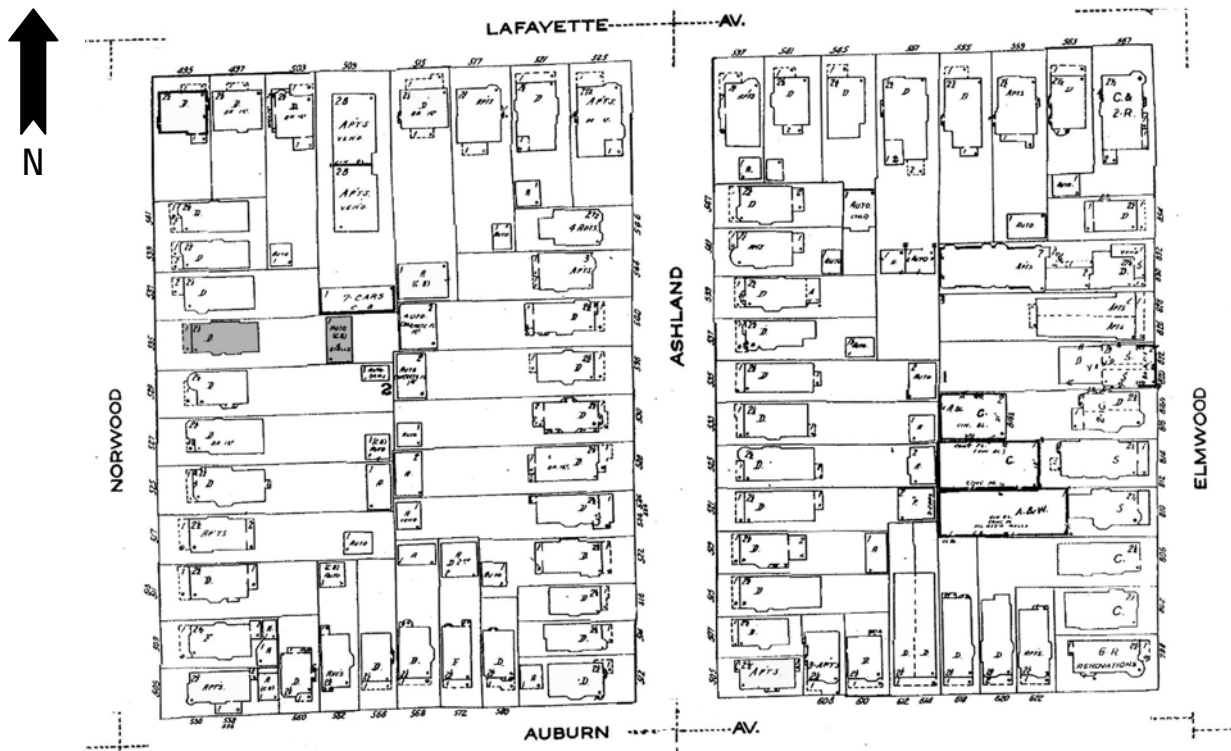
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban, residence with Colonial influenced design and simple mixed Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 535 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-20)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 537 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input checked="" type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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The single-family house at 537 Norwood Avenue is set on a shortened lot, located on the east side of the street on the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

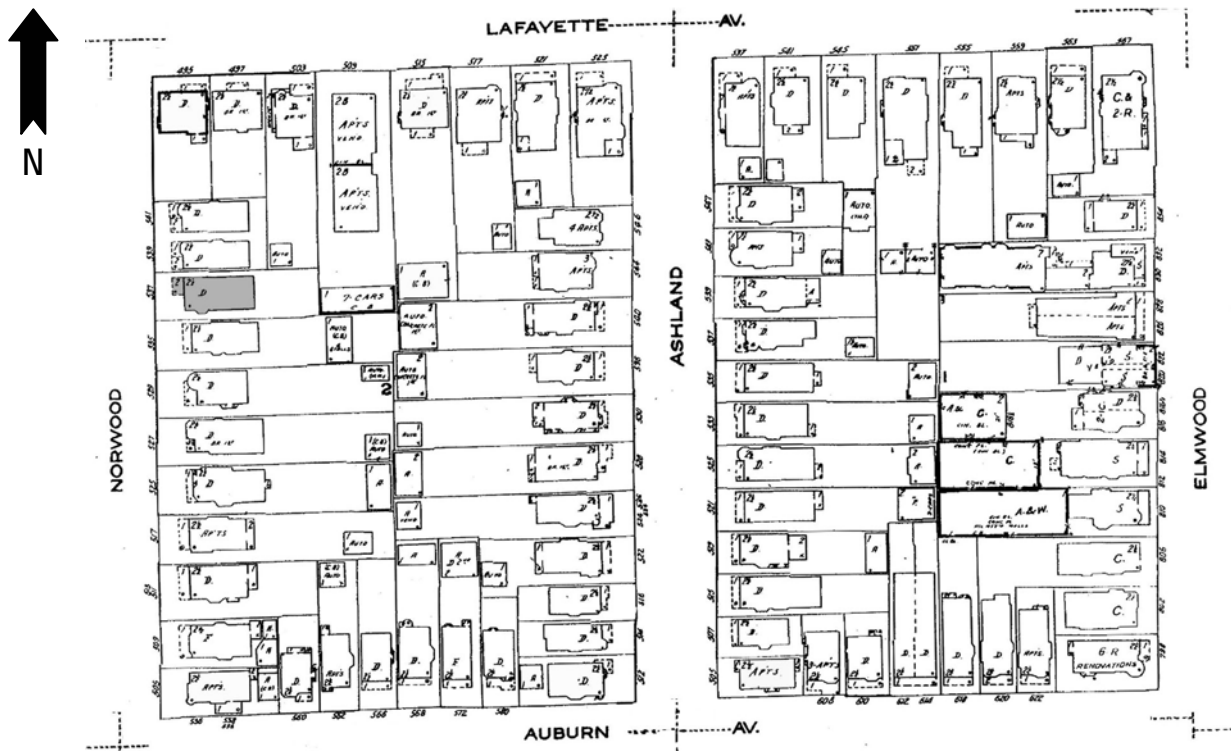
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 537 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Built for Herbert G. Whaley.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 539 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

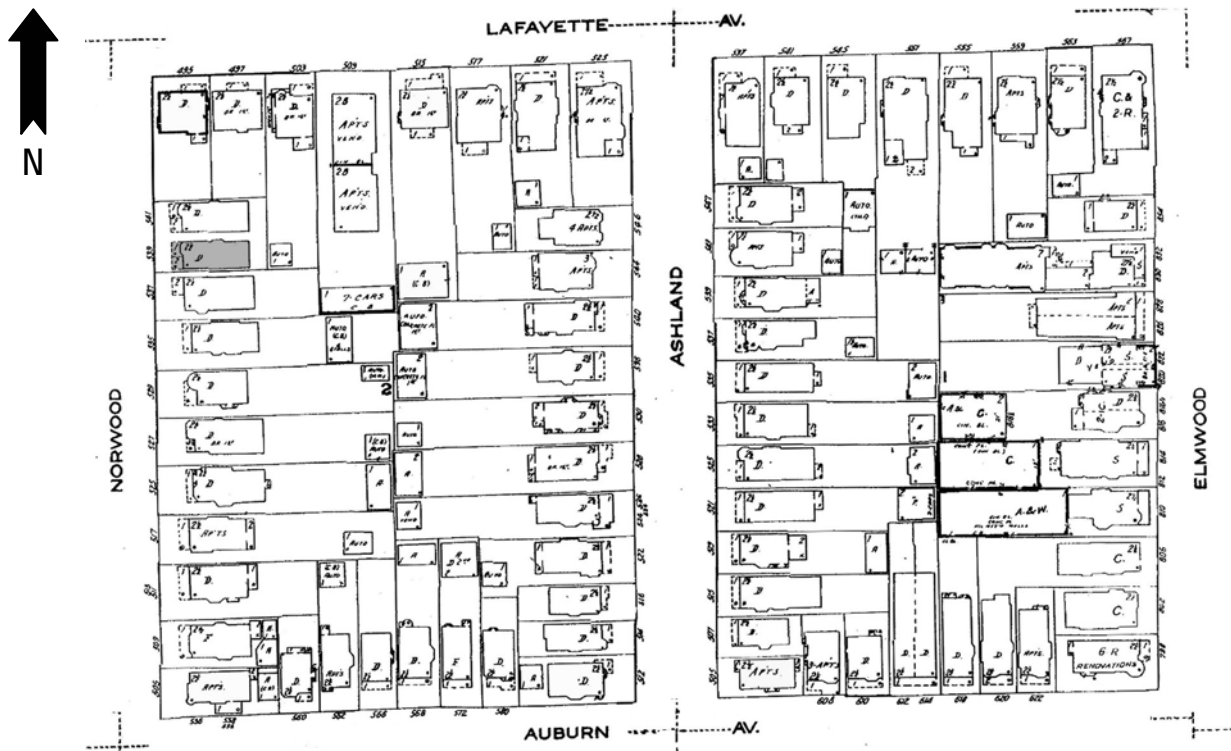
The single-family house at 539 Norwood Avenue is set on a shortened lot, located on the east side of the street at the north end of the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne influenced styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, simple frieze, and an entry stair to the south. The main entrance is located in the south bay of the façade. A polygonal bay occupies the north bay. The second floor façade has an open porch with metal rail, a porch entrance in the south beneath metal awning supports, and a polygonal oriel in the north bay aligned over the lower story bay. The pent enclosed front gable end is punctuated by a paired window group with enframing. Smaller closed side cross gable on the north with lower polygonal projecting bay. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes modest corner pilasters, frieze, verge boards, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 539 Norwood Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne influenced styling. Modestly styled singles and doubles of Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for Elizabeth A. Stall.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-18)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 541 Norwood Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 -2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 541 Norwood Avenue is set on a shortened lot, located on the east side of the street at the north end of the block between Auburn Avenue and Lafayette Avenue. Norwood Avenue is a prominent, north-south, residential street that runs the length of the West Side. The property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood.

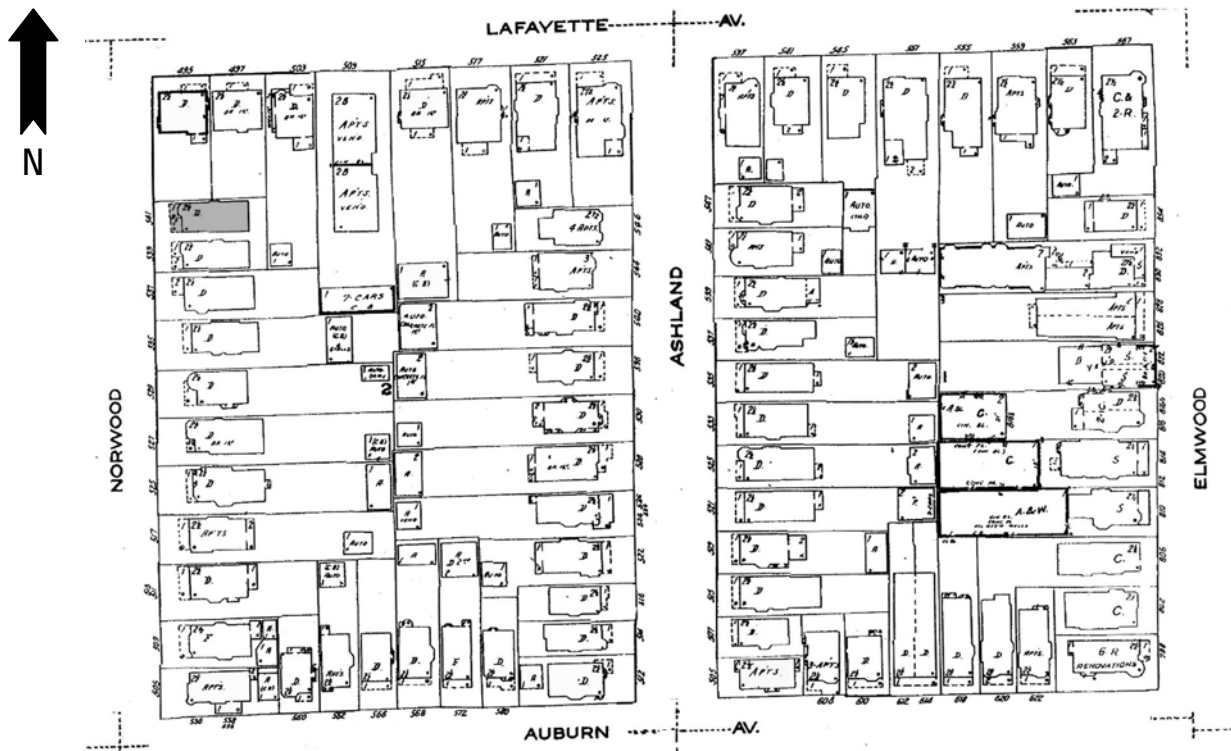
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne influenced styling

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 541 Norwood Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains much of its initial styling and character, despite the changes in exterior fabrics. Built for Elizabeth A. Stall.

MAP: Sanborn Map (Revised 1986) – Plate 352



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 25 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 25 Parkdale Avenue is set on a small slightly trapezoidal corner lot, located on the east side of the street, at the southern corner of the Parkdale Avenue – Arnold Street intersection. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with high Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with  $\frac{3}{4}$ -height fluted Tuscan columns set on wood piers, open wood rail, modest frieze and cornice, and entry stairs in the extremes of the both bays. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in a recessed niche in the extreme south bay. Two large windows occupy the central section of the lower façade. The second floor façade has a  $\frac{1}{2}$ -width open porch with modern metal rail, awning supports, and a porch entrance in the north bay. A polygonal oriel occupies the south bay. A two-story slightly protruding, rectangular bay is visible on the south elevation beneath a gabled wall dormer. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A large Palladian window punctuates the pent enclosed front gable end; smaller matching Palladian window in the gable of the side dormer. A brick chimney rests on the central ridge. Additional architectural detailing include corner pilasters, modest frieze, cornice trim, framing, and lookout rafters.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 25 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with high Queen Anne styling. More detailed than some, styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-21)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 33 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 33 Parkdale Avenue is set on a short lot, located on the east side of the street, on the block between Arnold Street and Breckenridge Street. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a ½-width, full-height, tiered, pedimented porch with slender square columns and open wood rail that dominates the north bay. The main entrance is located in the north bay of the façade under the porch. A triple window grouping occupies the south bay. The second floor façade has a porch entrance in the north bay over the entrance, and a projecting polygonal oriel in the south. A paired window punctuates the pent enclosed front gable end. Added metal fire escape on the upper façade. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest frieze, cornice trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 33 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 91 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

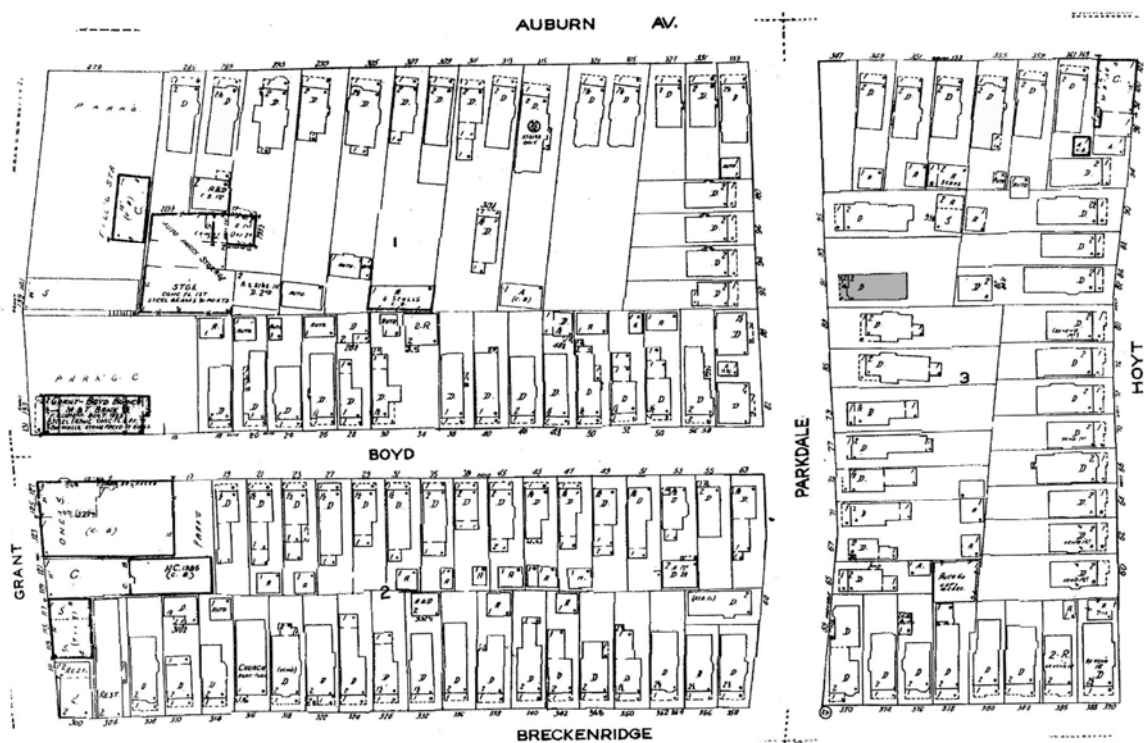
The two-family house at 91 Parkdale Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street, on the block between Breckenridge Street and Auburn Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width shed roof over a ½-width porch in the north bay with modern metal rail and supports and south side stair. Two main entrance doors are located in the north bay of the façade. A two story polygonal bay that continues through the porch roof dominates the south bay. The second floor façade has a ½-width gabled porch with modern metal rail and supports set into the lower porch roof in the north bay. A two story polygonal bay that runs through the porch roof dominates the south bay. Exterior wall fabric is wood clapboard shingle. Fenestration is one-over-one double-hung wood sash and fixed. A paired window punctuates the pent enclosed front gable end. Additional detailing includes modest corner boards, frieze, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-19)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 140 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1894

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

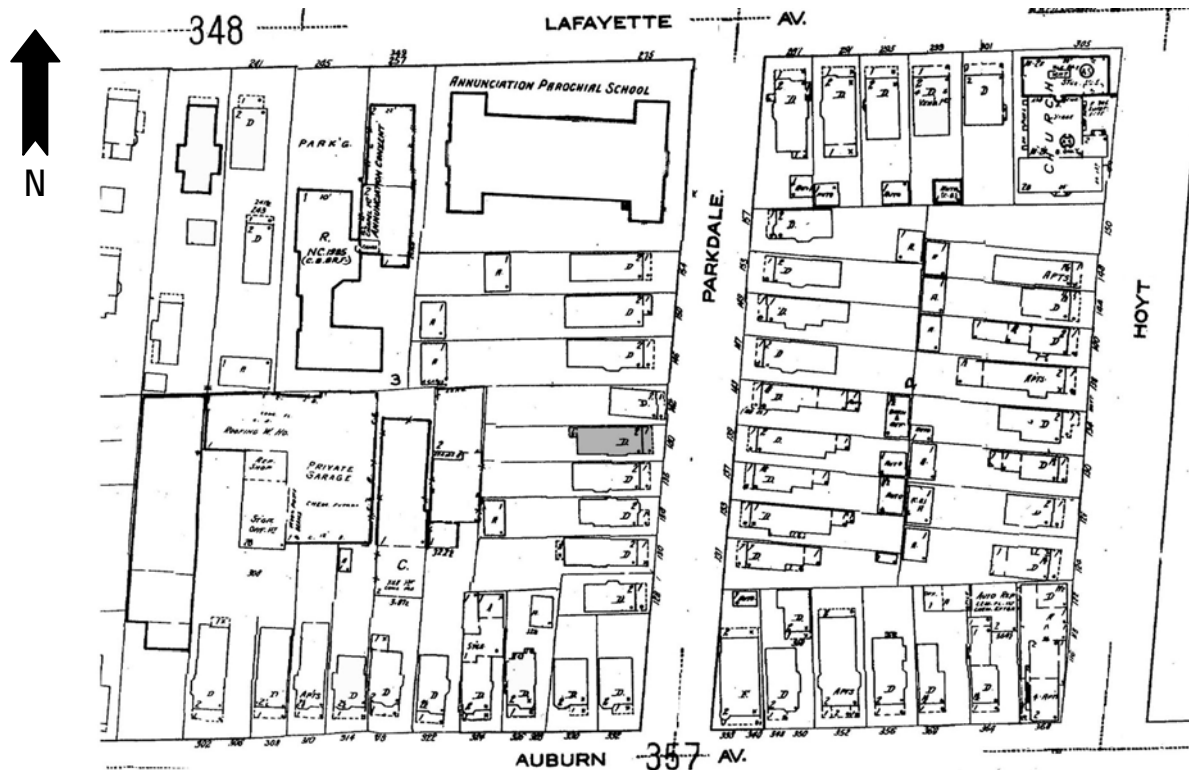
The two-family house at 140 Parkdale Avenue is set on a standard slightly trapezoidal lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan. The façade has a full-width, hipped roof porch with metal rail and supports, and a 1/3-width pediment over the central entry stair. Main entrances are located in the extreme north and south bays of the façade. A large window occupies the central section of the lower façade. The second floor façade has a polygonal oriel in the south bay flush beneath the slightly projecting front gable end. A two-story slightly protruding, rectangular bay is visible on the south elevation beneath the side cross gable. Exterior wall fabrics are clapboard on the main block with decorative wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A triple window grouping punctuates the pent enclosed front gable peak. Brick chimney visible on the ridge of the cross gable. Additional detailing includes modest corner boards, frieze, framing, and exposed rafter tails.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 140 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 150 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1920

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 150 Parkdale Avenue is set on a long lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

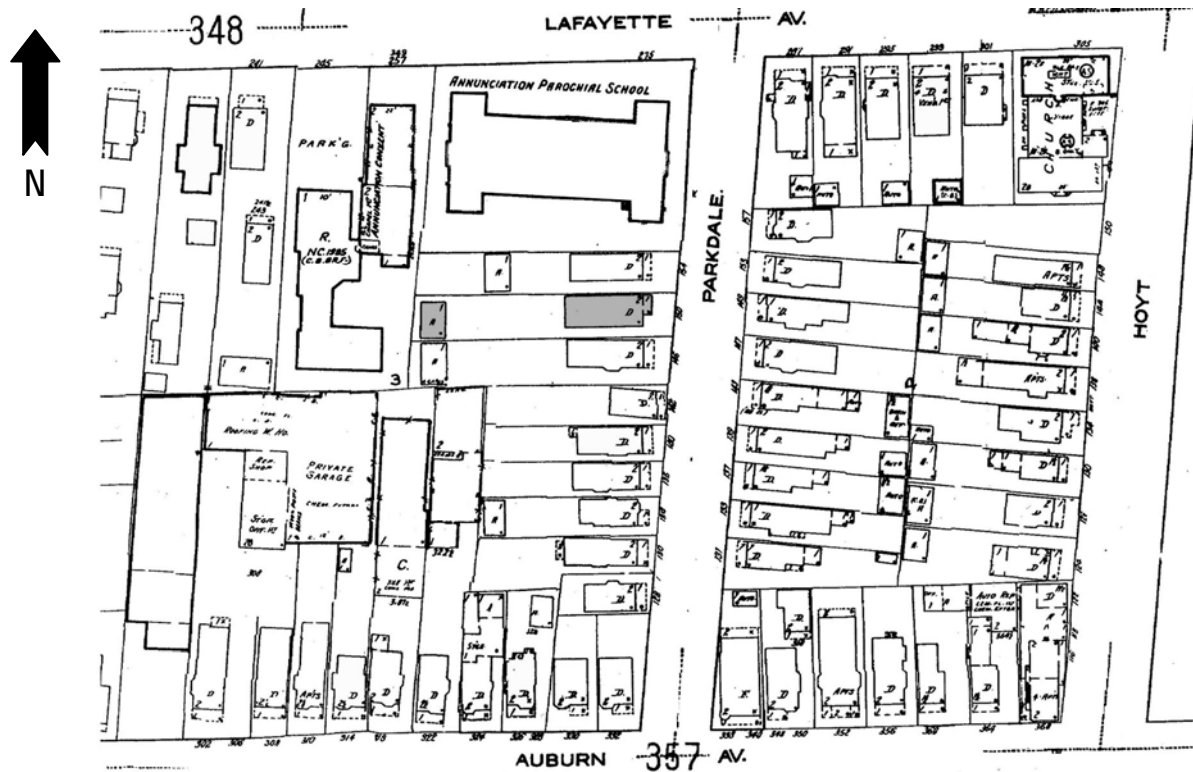
A two-and-one-half story, front gabled, urban, residence of mixed styling. It has a rectangular plan and is set on a brick foundation. The façade has a 2/3-width, enclosed brick living porch in the north, with a triple grouping of full-height multi-paned casement windows and central door opening to a small wood railed porch, ornamented brick piers, frieze, and wide eaves. The hooded main entrance is located in the remaining south bay of the façade with an open entry porch and side stair. The second floor façade has a 2/3-width awninged porch in the north, with a large sidelighted entrance; single window sets in the south bay. A paired window punctuates the modestly half timbered front gable peak. Exterior wall fabric is stucco with contrasting colors on the upper and lower stories. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest frieze and cornice, verge boards, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, residence of mixed styling. Modestly styled doubles of the prevailing trend, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-17)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 154 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1920

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 154 Parkdale Avenue is set on a standard lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

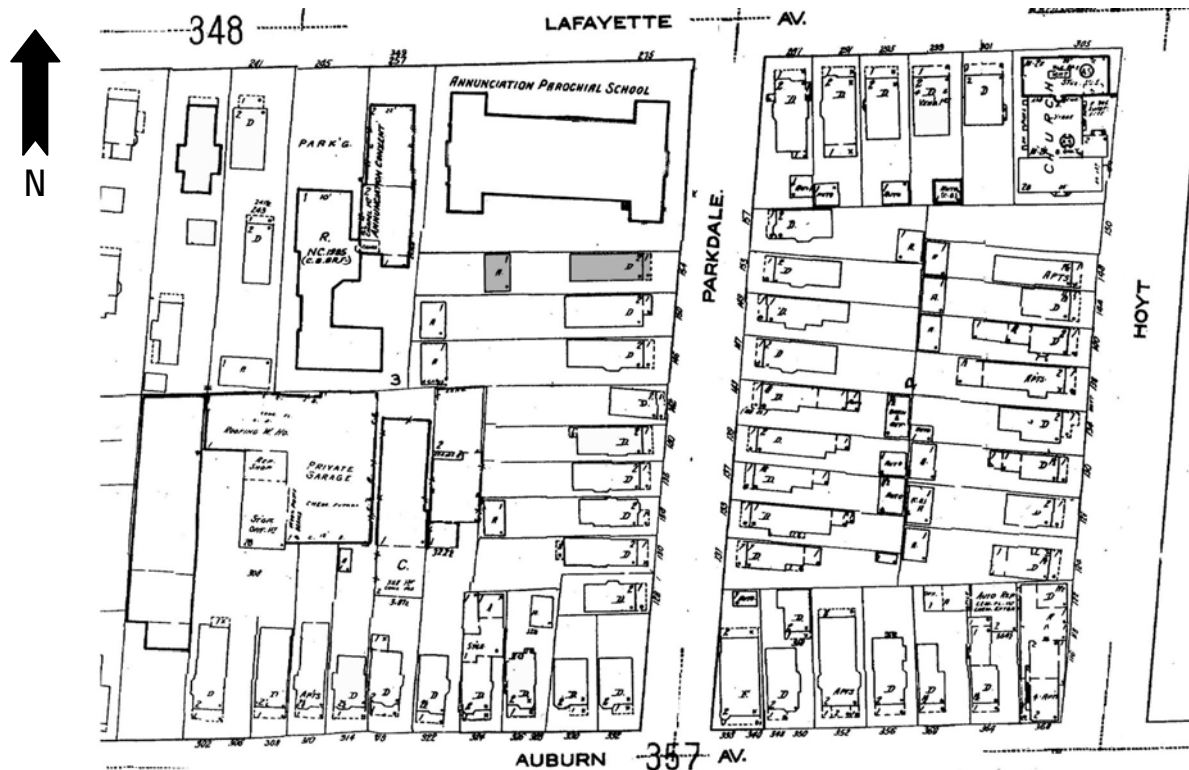
A two-story, hipped roof, urban, frame residence of mixed Queen Anne period influences. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width, porch with trimmed square column, solid wood rail, flat frieze, and entry stair in the south. The main entrance is located in the south bay of the façade within a shallow, enclosed, rectangular vestibule. A large triple window group with modest framing occupies the north bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the south, and a polygonal oriel in the north flush beneath the eave. A hipped roof dormer with a triple window grouping dominates the front roof slope. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, frieze, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 154 Parkdale Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of mixed Queen Anne period influences. Though front and cross gabled variations are more prevalent, modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 196 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 196 Parkdale Avenue is set on a standard lot, located on the west side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

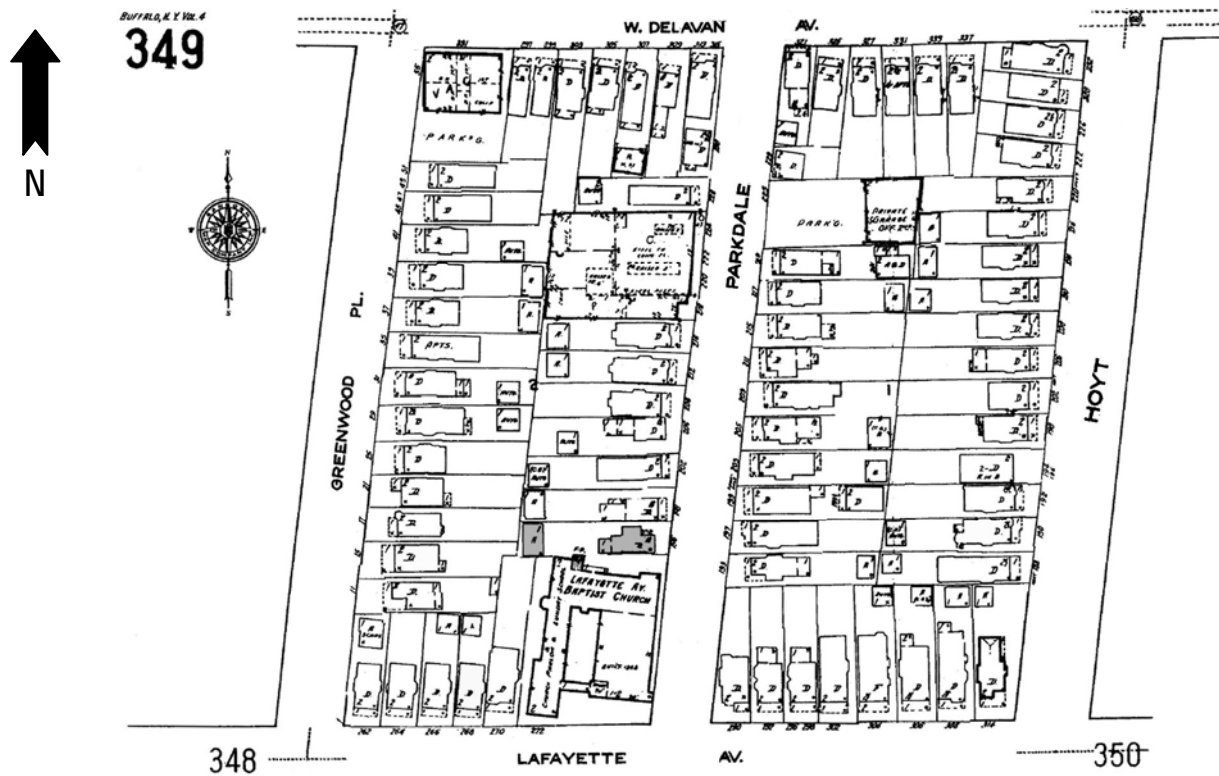
A two-story, cross gabled, vernacular, urban frame folk residence. It has an irregular, slightly T shaped plan and is set on a rusticated concrete block foundation. The façade has a full-width, flat roofed porch that extends into the north ell, with ¾-height wood posts set on solid shingled rail that continues over the foundation, and an entry stair in the extreme north. The main entrance is located under the porch within an enclosed vestibule in the north ell. A large multi-paned window is centered on the lower façade. The second floor façade is distinguished by simple, even fenestration. Upper story of the cross gabled north wing projects over the lower level. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the forward ridge.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 196 Parkdale Avenue is significant as a good representative example of a two-story, cross gabled, vernacular, urban frame folk residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-15)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 211 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

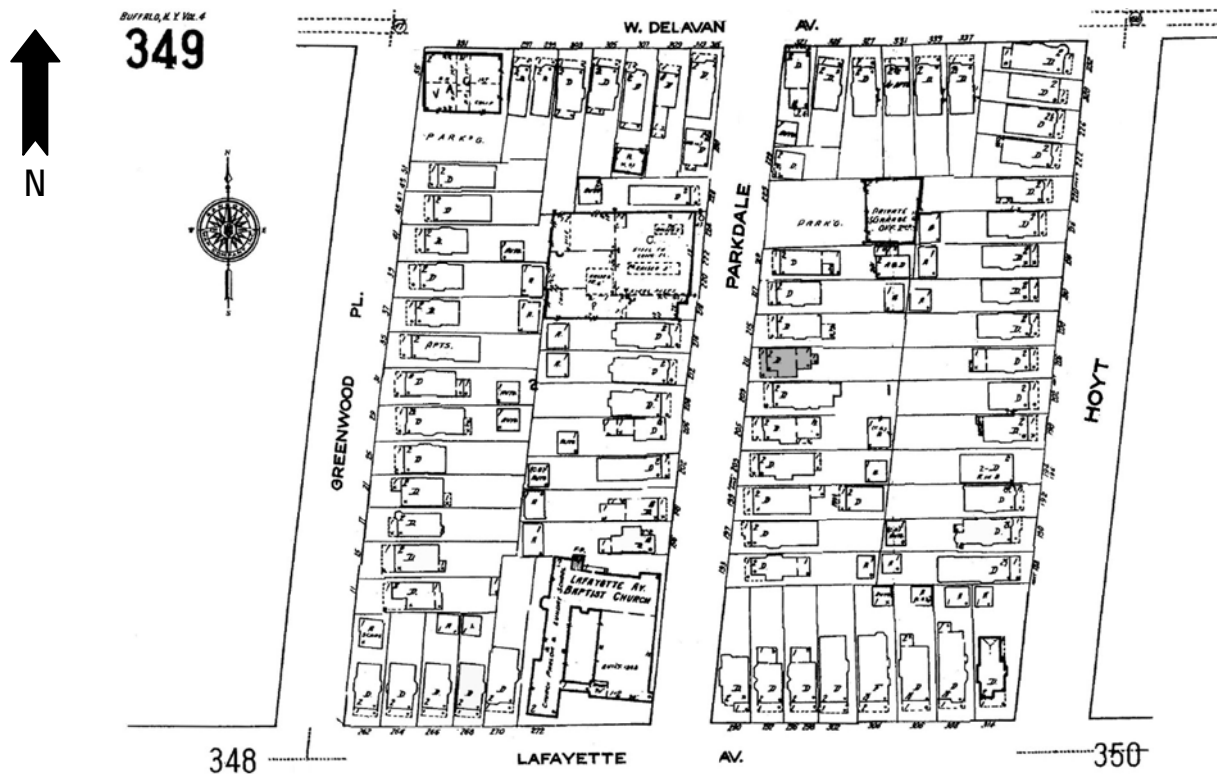
The single-family house at 211 Parkdale Avenue is set on a standard lot, located on the east side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-story, front gabled, urban, frame, vernacular, Victorian folk residence with mixed influences and detailing. It has an irregular plan with slightly ell'd main block and narrowed one-story rear block. The foundation is poured concrete. The façade has a full-width, altered shed roof porch that wraps around the southern corner into the slight ell, with metal supports set on brick piers and a ¼-width pediment in the south façade bay. The main entrance is located under the porch in the south ell. The façade is distinguished by symmetric tired fenestration with notable enframements. A small window with matching enframement punctuates the gable peak. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash. Additional detailing includes modest corner boards and raked molding with dentils.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 211 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, frame, vernacular, Victorian folk residence with mixed influences and detailing. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style and varying additions were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 265 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

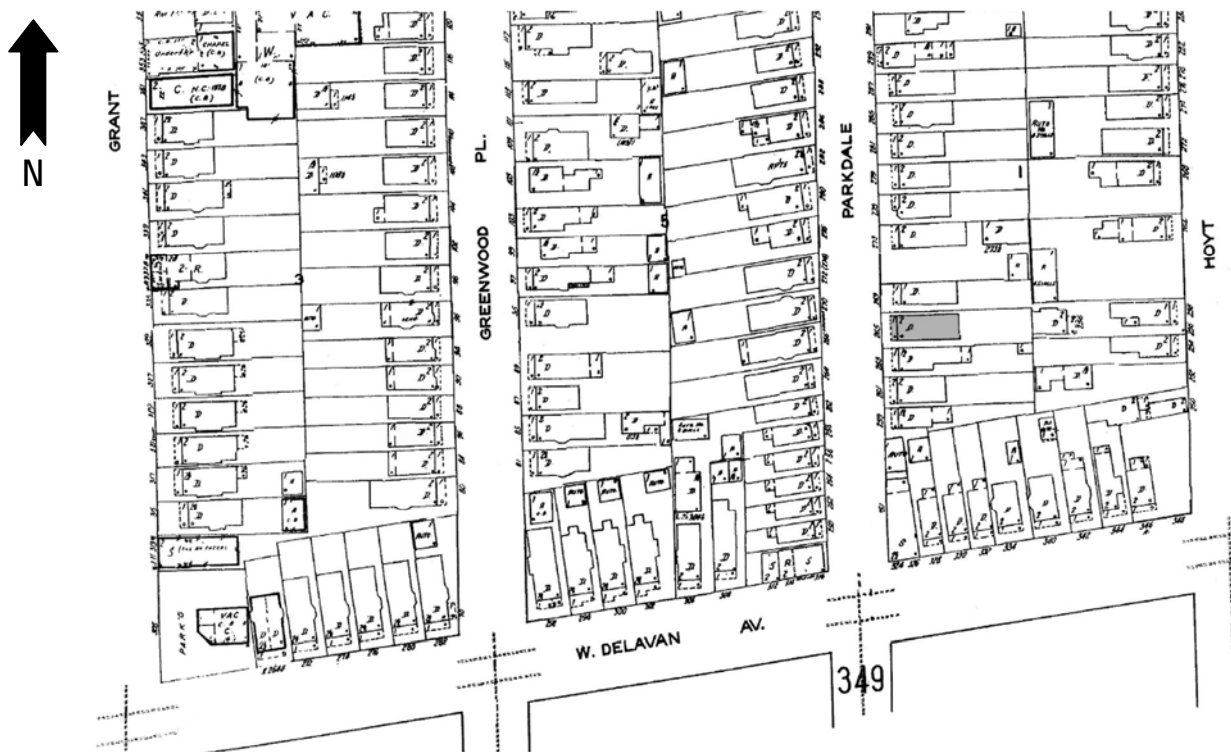
The two-family house at 265 Parkdale Avenue is set on a standard lot, located on the east side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with solid sided square columns and rail that extends over the foundation, small frieze space, and an entry stair in the south. The main entrance is located in the south bay of the façade. Two evenly spaced windows occupy the remainder of the lower façade. The second floor façade has an open porch with wood posts and open wood rail, metal awning supports, a porch entrance in the south bay over the entrance, and a polygonal oriel in the north. A paired window grouping punctuates the pent enclosed front gable end. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one and six-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze and cornice trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 265 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-13)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 286 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

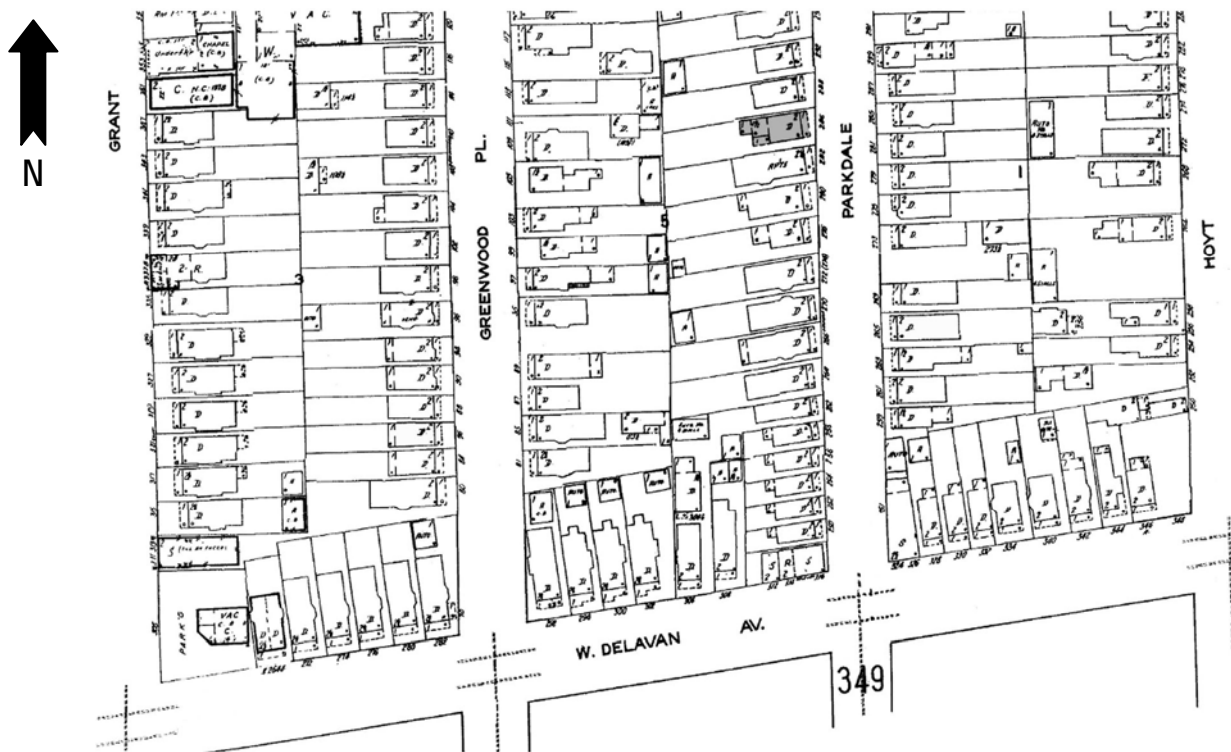
The single-family house at 286 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame, vernacular, Victorian residence with Queen Anne influence and detail. It has a slight ell plan with main block and narrowed rear block. The façade has a full-width, shed roof porch with paired  $\frac{3}{4}$ -height slender column supports set of solid decoratively shingled rail, small frieze, and  $\frac{1}{2}$ -width pediment over the entry stair in the north bay. The main entrance is located in the north bay. A paired window occupies the south bay. The second floor façade is distinguished by simple symmetric fenestration. A paired window punctuates the gable peak. Exterior wall fabric is clapboard with decorative wood shingle in the gable end. Fenestration is primarily one-over-one double-hung wood sash; small diamond oculus visible on the north elevation. Additional detailing includes small corner boards, trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 286 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame, vernacular, Victorian residence with Queen Anne influence and detail. Unique mixed style, but over all of a vein characteristic of single-family residences of the era and the neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 296 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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The two-family house at 296 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

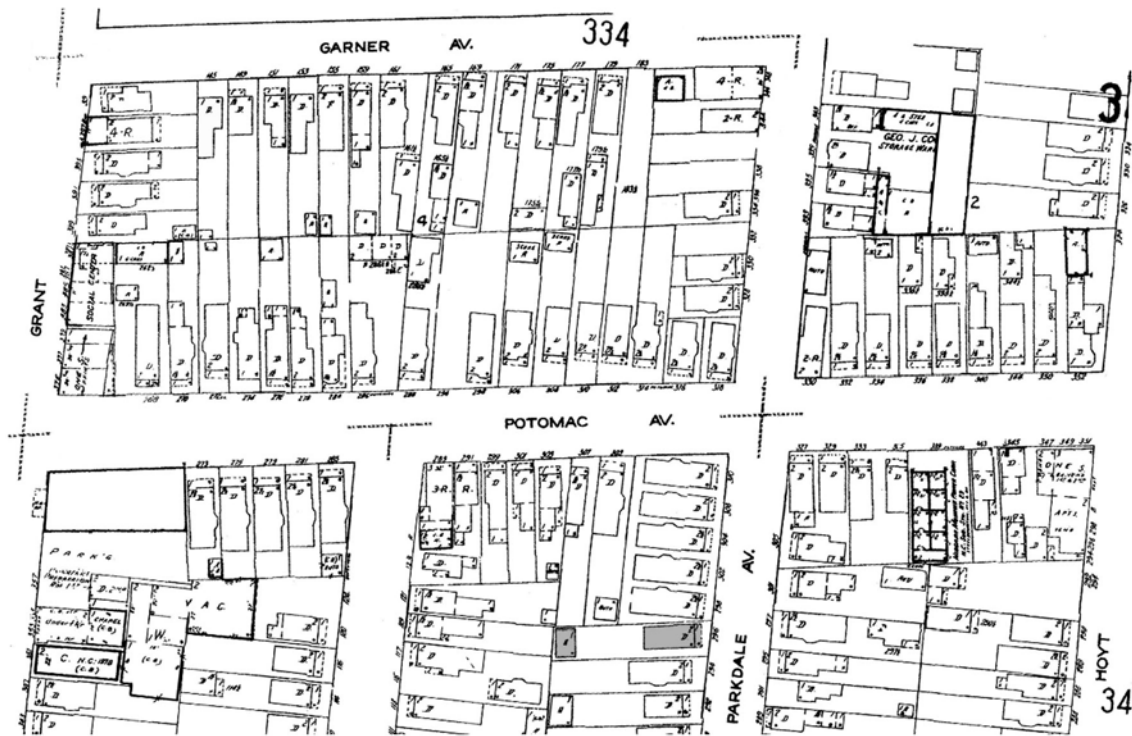
A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, open wood rail, flat frieze, and entry stair in the north bay. The main entrance is located in the north bay of the façade. A large triple window bay occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north bay, and a polygonal oriel in the south. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A window grouping punctuates the front gable peak. Additional architectural details include corner pilasters, modest frieze, and cornice trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 296 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-11)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 301 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 301 Parkdale Avenue is set on a trapezoidal lot, located on the east side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

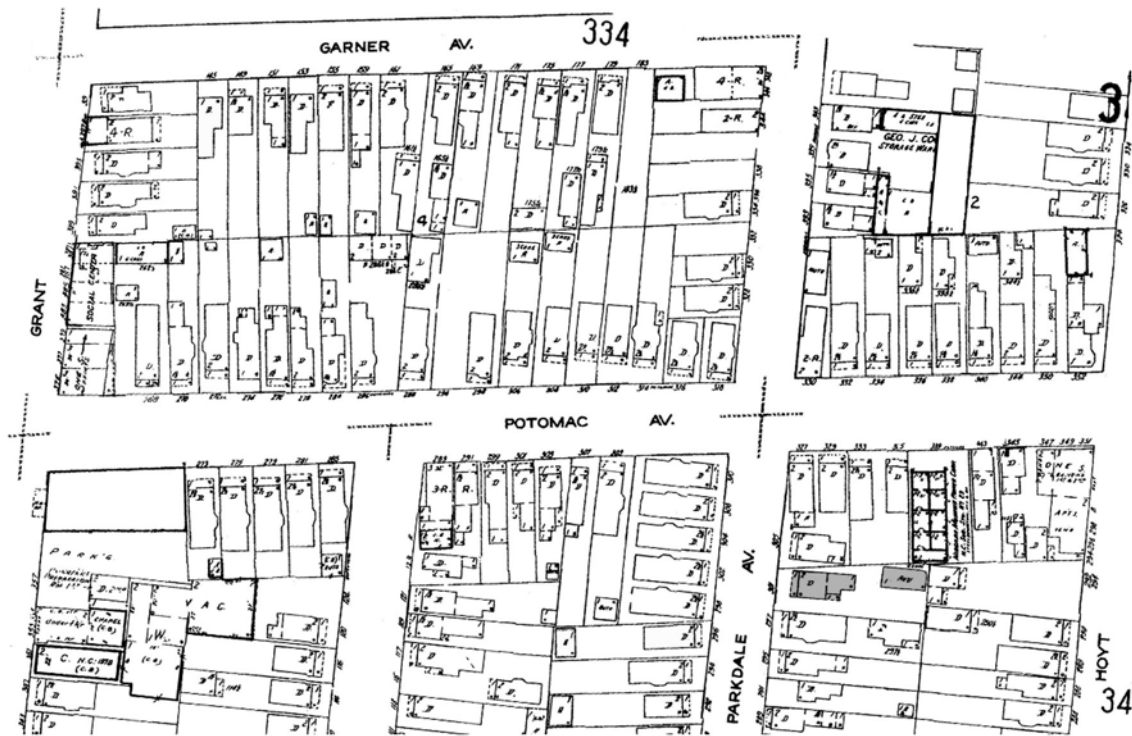
A two-and-one-half story, urban, vernacular, frame residence of mixed Colonial influences, with side gabled roof and lower front gambrel that extends over the upper story facade. It has a slight ell plan with squared main block and rear, one-story, ell-shaped block. It is set on a concrete foundation. The facade has a full-width, shed roof porch with square columns, spindled wood rail, and entry stair in the north. The main entrance is located in the north bay of the facade under the porch. Second floor facade dominated by gambrel accented with simple symmetric fenestration. Exterior wall fabrics are wood clapboard shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge. Additional detailing includes modest corner boards, framing, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 301 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, urban, vernacular, frame residence of mixed Colonial influences, with side gabled roof and lower front gambrel that extends over the upper story facade. Notable roof line and mixed Colonial styling; both less uncommon in this West Side neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 358 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

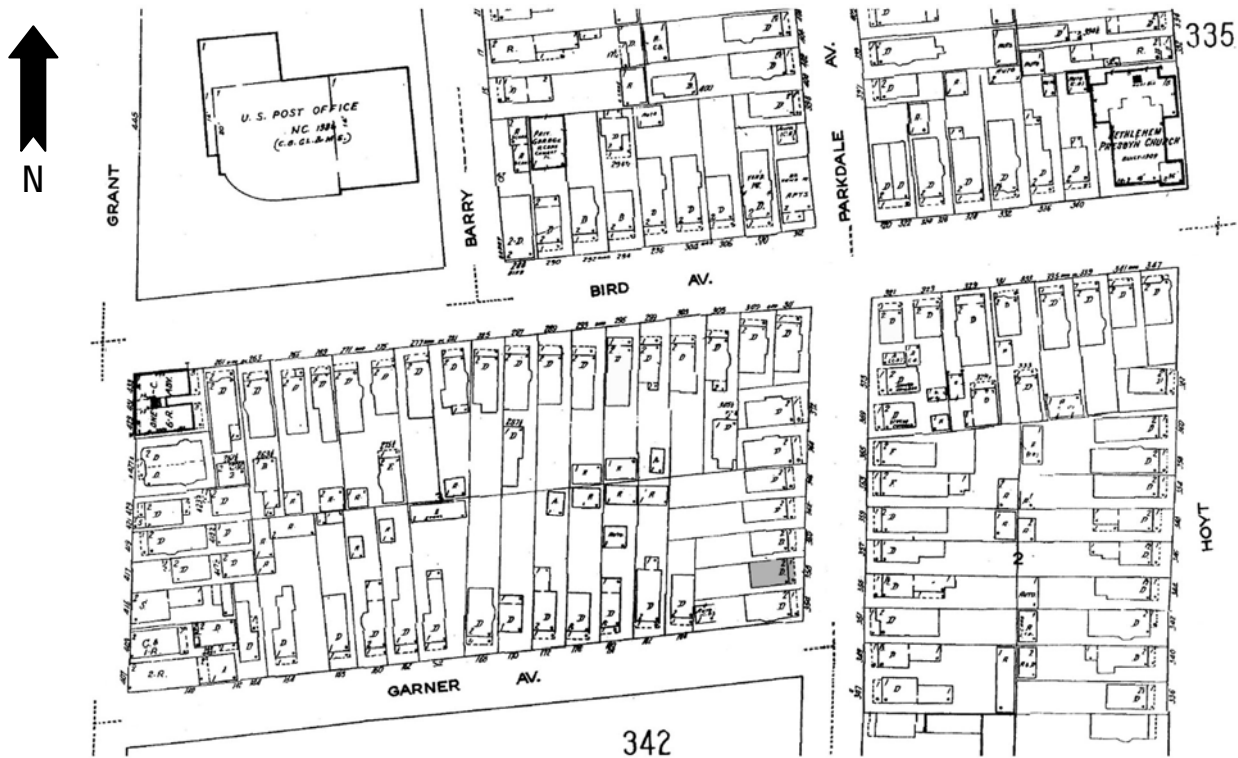
The single-family house at 358 Parkdale Avenue is set on a shortened slightly diagonal lot, located on the west side of the street, on the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence of a mixed Colonial Revival influenced style. It has a squared plan and is set on a stone foundation. The façade has a full-width, hipped roof, enclosed porch with solid clapboard base below continuous windowing. The main entrance is located on the façade of the porch off center to the south, with an entry stair. The second floor façade has a polygonal oriel in the north bay that continues upward to punctuate the roofline with a turreted dormer accented with small Queen Anne windows. Exterior wall fabric is clapboard with decorative wood shingle on the dormer. Fenestration is one-over-one double-hung wood sash and fixed.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 358 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of a mixed Colonial Revival influenced style. Modestly styled urban singles and doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-9)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 362 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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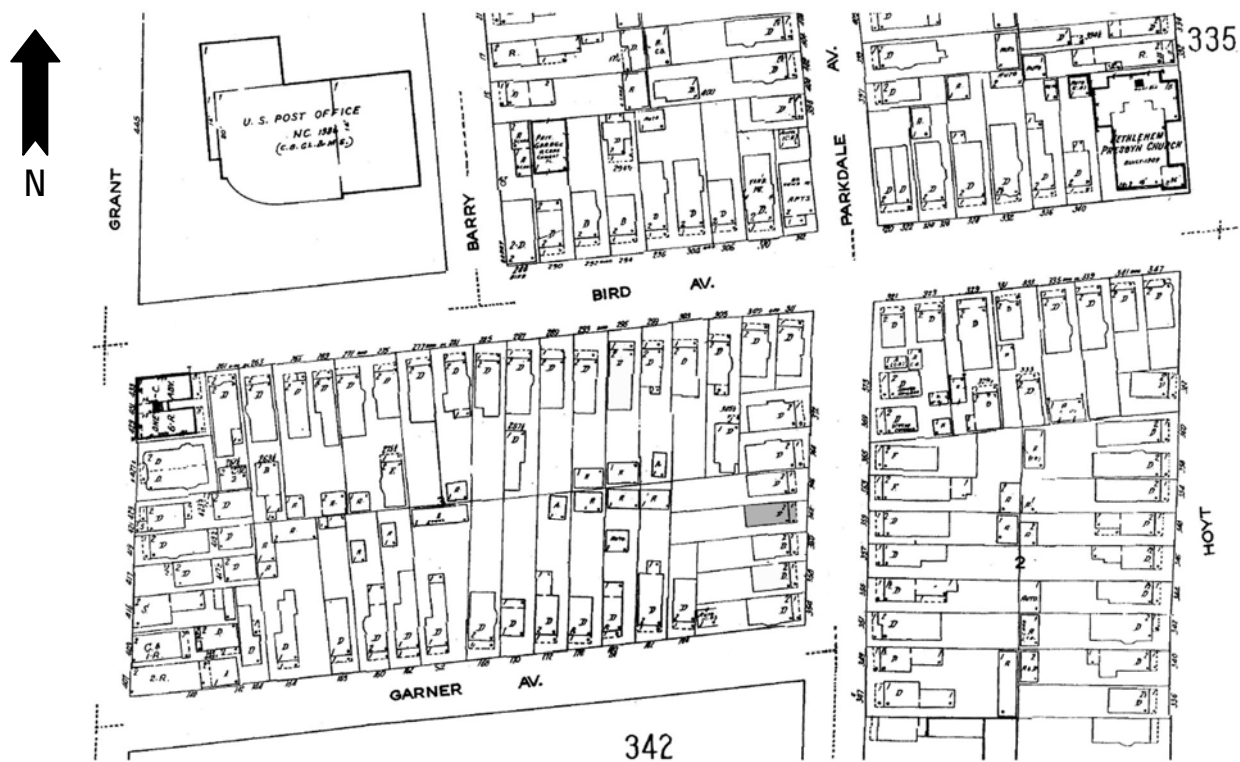
The single-family house at 362 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of Queen Anne style and detail. It has a rectangular plan. The façade has a full-width, shed roof porch with bracketed turned posts, spindled wood rail, modest frieze, and 1/3-width pediment over an entry stair in the south. The main entrance is located in the south bay of the façade under the porch within an enclosed rectangular vestibule. A large shuttered window occupies the remainder of the lower façade. The second floor façade is dominated by a polygonal oriel with a front gabled roof. Exterior wall fabric is clapboard with decorative wood shingle in the gable ends. Fenestration is one-over-one double-hung wood sash and fixed. Small multi-paned windows punctuate both pent enclosed forward gable ends. Additional detailing includes corner boards, modest frieze and cornice trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 362 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne style and detail. A modest Queen Anne styled design common amongst single-family residences of the era in the Grant-Ferry-Forest neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 363 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 363 Parkdale Avenue is set on a standard slightly diagonal lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

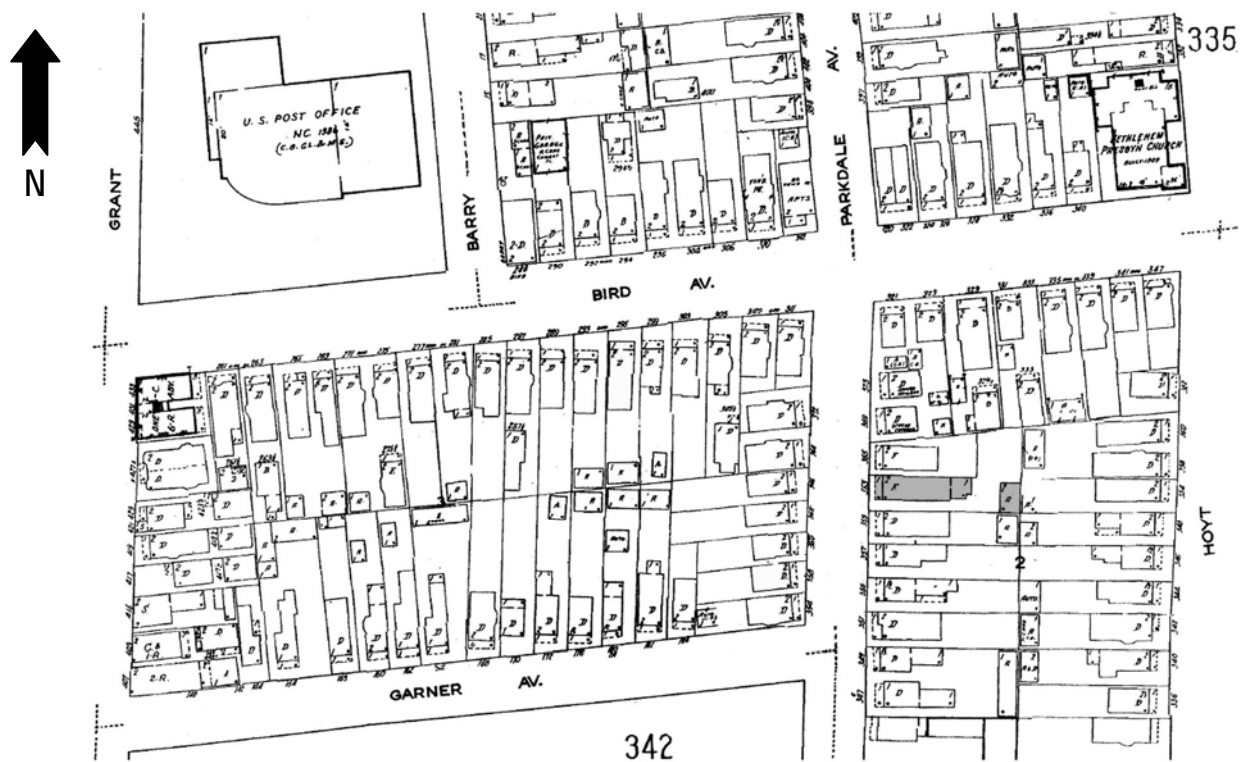
A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rough rectangular plan with rear extension and is set on a stone foundation. The façade has a full-width porch with square columns, solid wood rail, small frieze, and an entry stair in the north bay. The main entrance is located in the north bay of the façade. A triple window grouping occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north, and a triple window grouping in the south over the lower window. Exterior wall fabric is clapboard with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. A paired window with latticed panes punctuates the pent enclosed front gable end. A brick chimney rests on the center ridge. Additional architectural details include modest corner boards, frieze, and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 363 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-7)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 369 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, blder Date of construction, if known 1918

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and stone aggregate

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 369 Parkdale Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

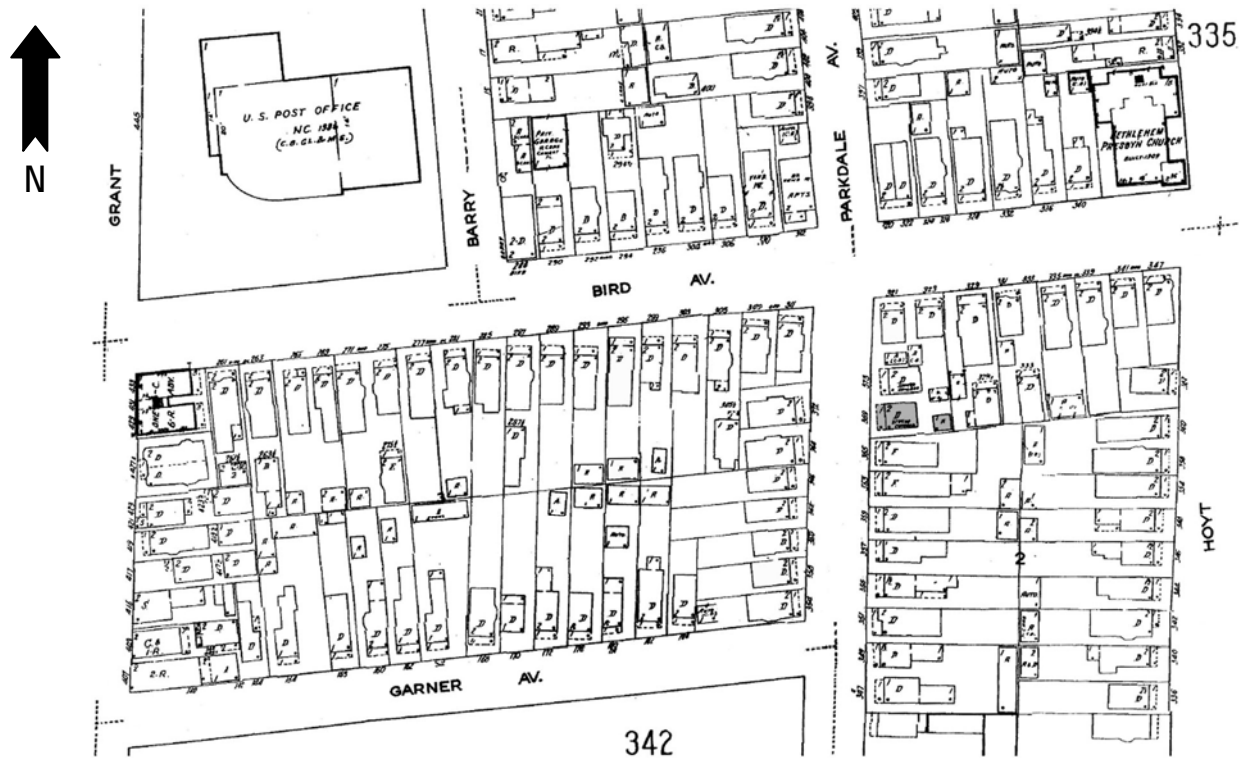
A two-story, front gabled, urban, vernacular residence of unique mixed styling. It has a squared plan and is set on a brick foundation. The façade has a centered 7/8-width, hipped roof porch with ornamented brick columns, open wood rail, wide overhanging eaves, and an entry stair on the south side. The main entrance is located in the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Exterior wall fabric is stucco with stone aggregate on the modestly half timbered gable peak. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest belt course, verge boards, and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 369 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, vernacular residence with stucco exterior and unique mixed styling. Built for builder George W. Gies. Urban vernacular structures embellished with modest detailing and varying additions, such as this, were fairly common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-17; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 372 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

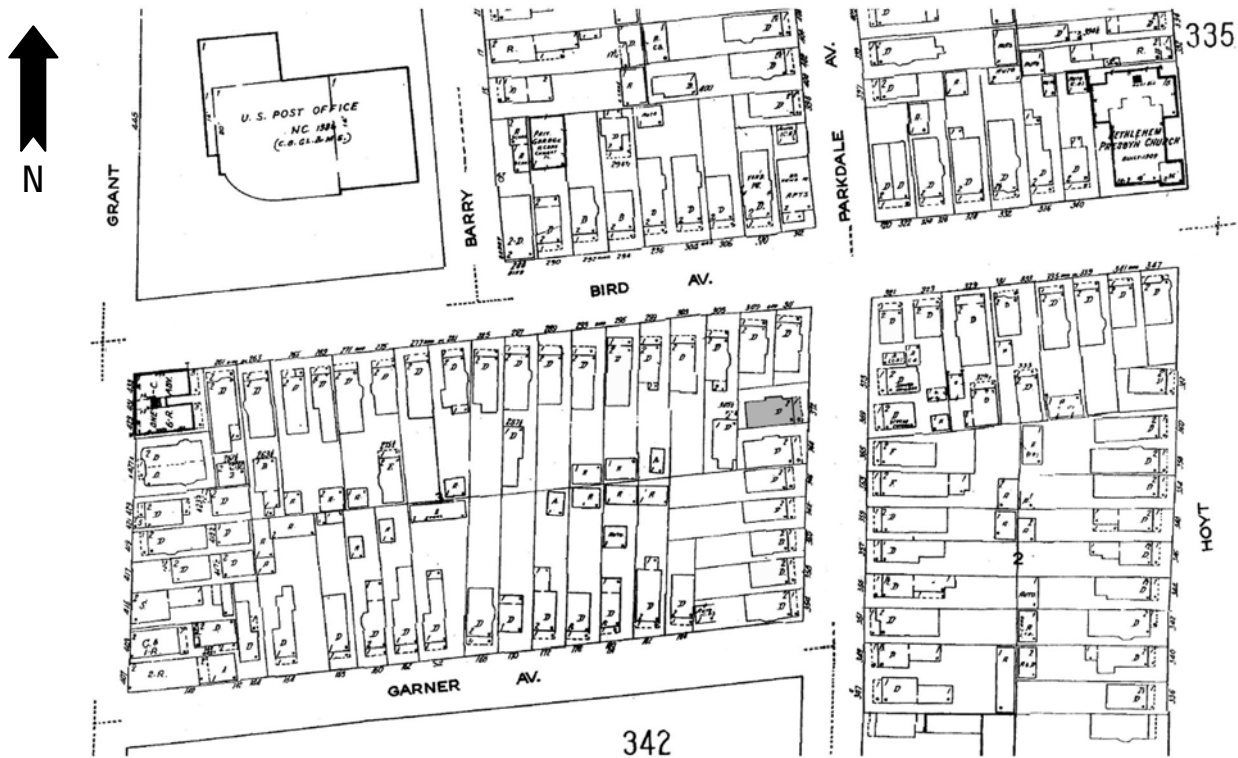
The two-family house at 372 Parkdale Avenue is set on a shortened lot, located on the west side of the street, at the north end of the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with brick foundation, square columns, solid wood rail, small frieze, and an entry stair in the south bay. The sidelighted main entrance is located in the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade has an open porch with modern metal rail, a porch entrance in the south, and a polygonal bay in the north. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A small triple window punctuates the pent enclosed front gable end. A brick chimney rests on the center ridge. Additional architectural details include modest corner boards, frieze, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 372 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-6)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 373 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr Date of construction, if known 1918

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and stone aggregate

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 373 Parkdale Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

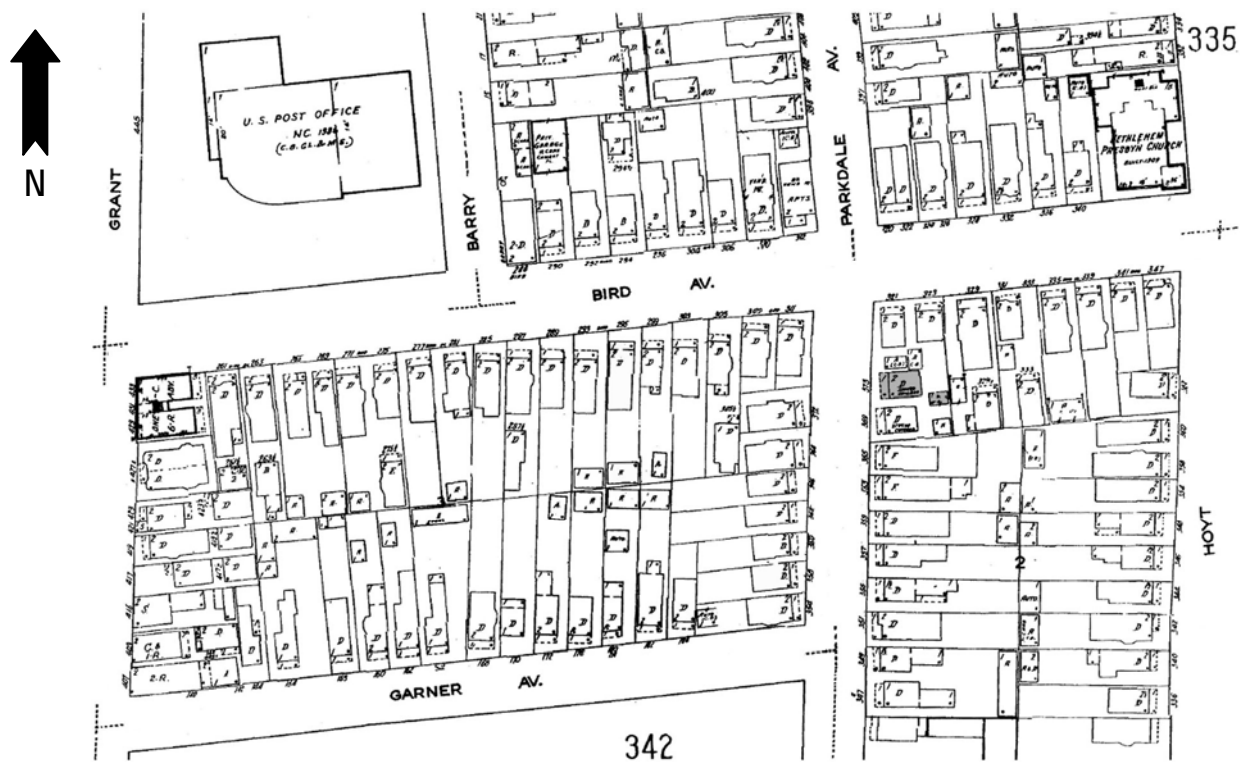
A two-story, front gabled, urban, vernacular residence of unique mixed styling. It has a squared plan and is set on a brick foundation. The façade has a centered 7/8-width, hipped roof porch with ornamented brick columns, open wood rail, wide overhanging eaves, and an entry stair on the south side. The main entrance is located to the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Modestly half timbered front gable peak. Exterior wall fabric is stucco and stone aggregate. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on central ridge. Additional architectural details include modest belt course, verge boards, and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 373 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, vernacular residence of unique mixed styling. Built for builder George W. Gies. Urban vernacular structures embellished with modest detailing and varying additions, such as this, were fairly common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-17; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 427 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The two-family house at 427 Parkdale Avenue is set on a standard lot, located on the east side of the street, toward the north end of the street on the block between Bird Avenue and Forest Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

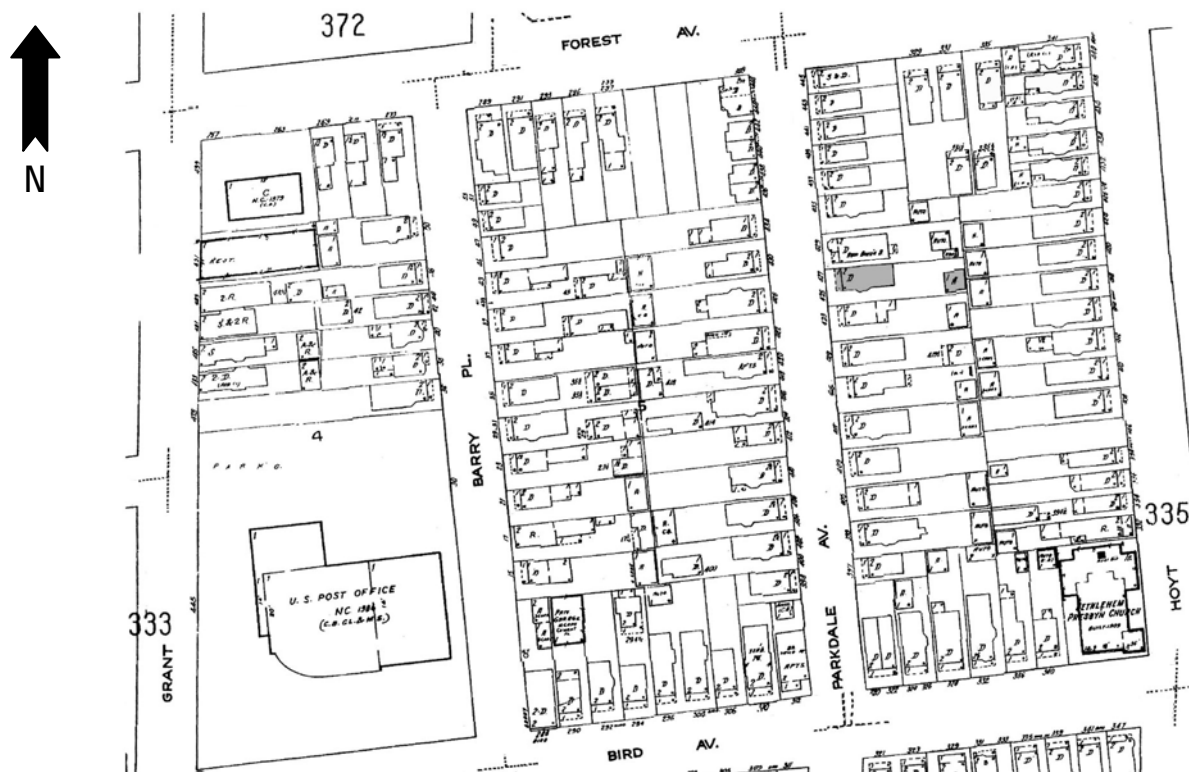
A two-and-one-half story, front gabled, urban, frame residence with modest Queen Anne styling and detail. It has a rough rectangular plan and is set on a stone foundation and rusticated brick foundation. The façade has a full-width porch with  $\frac{3}{4}$ -height fluted Ionic columns set on wood trimmed wood piers, spindled wood rail, modest frieze and cornice, and centered entry stair. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in the extreme south bay. Two large windows with modest enframements occupy the central section of the lower façade. The second floor façade has an open porch with  $\frac{1}{2}$ -height trimmed wood posts, open wood rail, modern metal awning supports, a porch entrance in the north bay, and a polygonal oriel in the south bay flush beneath the bracketed and slightly projecting front gable end. A two-story slightly protruding, polygonal bay is visible on the south elevation beneath a gabled wall dormer with pent. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. A large Palladian window punctuates the front gable end; small window accents the gable of the side dormer. A brick chimney rests on the central ridge. Additional architectural detailing include corner boards, modest frieze, cornice trim, framing, and brackets.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 427 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with modest Queen Anne styling and detail. Modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-5)









## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 430 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 430 Parkdale Avenue is set on a standard lot, located on the west side of the street, toward the north end of the street on the block between Bird Avenue and Forest Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular frame residence with minimal Queen Anne influence. It has a slight ell plan with squared main block and narrowed rear block. The foundation is stone. The façade has an 7/8-width, open, metal railed entry porch with a stair in the north. The main entrance is located in the north bay of the façade. A modestly framed triple window grouping occupies the south bay. The second floor façade has a bracketed rectangular oriel with a triple window in the south bay over the lower window. A paired window accents the pent enclosed front gable end. Exterior wall fabric is clapboard with wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Exterior brick chimney visible to the front of the south elevation. Additional detailing includes small corner boards, frieze, and trim.

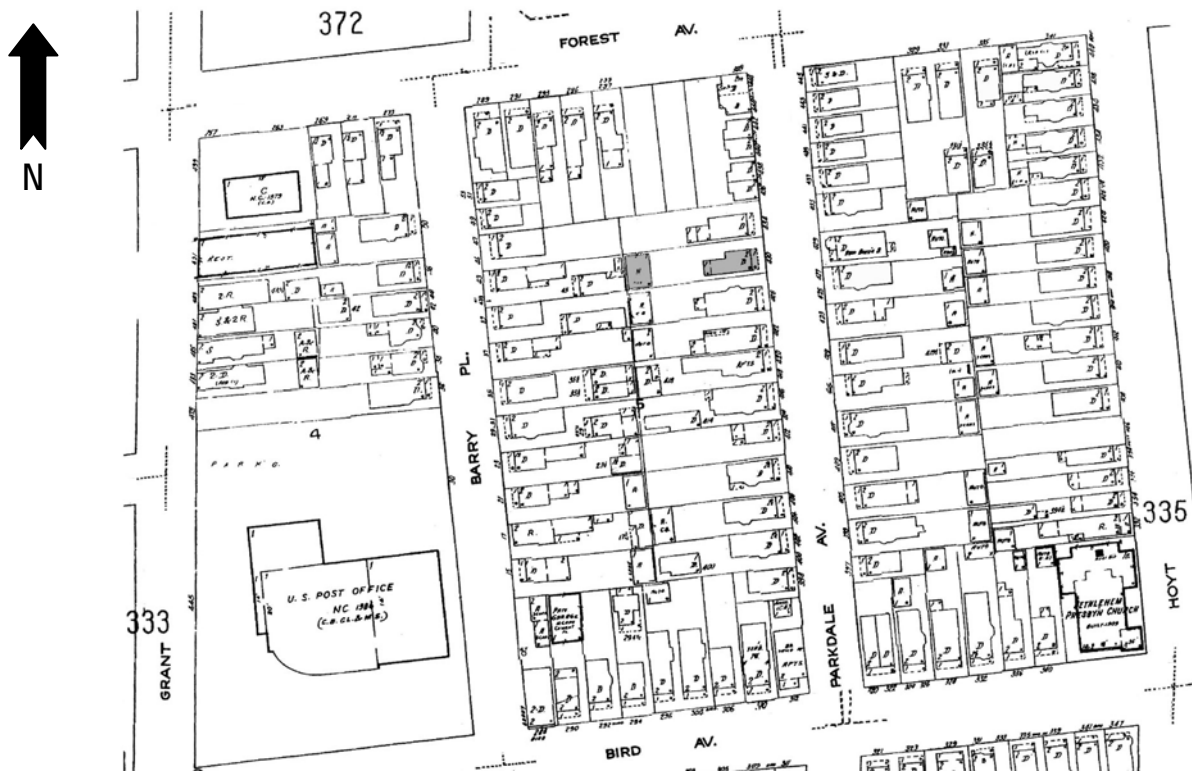
A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 430 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with minimal Queen Anne influence.

Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-4)

